

BANK OF AMERICA 1ST FLOOR RENOVATIONS

OFFICE OF ECONOMIC VITALITY

TALLAHASSEE, FLORIDA

CONSULTANTS
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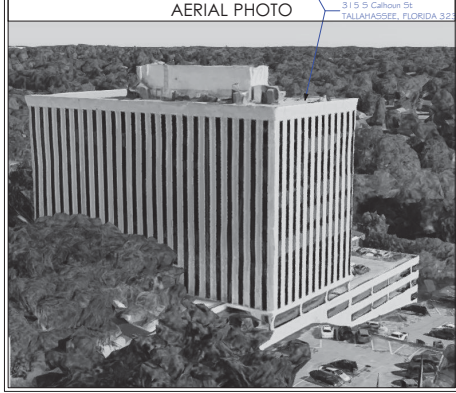


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OFFICE OF ECONOMIC VITALITY
TALLAHASSEE, FLORIDA

100% SUBMITTAL

PROJ. NO. 1406-19
DATE 06/27/2019
DRAWN: ADP
CHECKED: JH
APPROVED: [Signature]
REVISION: _____
REVISION DATE: _____

TITLE SHEET
G100



SCOPE OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:
THE WORK INCLUDES INTERIOR RENOVATIONS TO A PORTION OF THE 1ST FLOOR AS INDICATED ON THE PLANS INCLUDING SELECTIVE DEMOLITION OF INTERIOR PARTITION WALLS, CASEWORK, FLOORING, CEILING GRID, TILES AND LIGHTING FIXTURES, INSTALLATION OF NEW INTERIOR PARTITION WALLS, PRIMING AND PAINTING 2 COATS TO NEW WALLS AS WELL AS PATCHING/PAINTING EXISTING WALLS, NEW DOORS, FLOORING, AND INSTALLATION OF NEW CASEWORK. ADDITIONAL WORK INCLUDES MODIFICATIONS TO THE HVAC SYSTEM, CONTROLS AND DUCTWORK, ELECTRICAL WIRING FOR NEW LIGHTING FIXTURES AND POWER OUTLETS.

BUILDING AND FIRE CODES

FLORIDA BUILDING CODE (FBC), 6TH EDITION (2017)
FLORIDA ACCESSIBILITY CODE (FAC), 6TH EDITION (2017)
FLORIDA EXISTING BUILDING CODE (FBC-EB), 6TH EDITION (2017)
FLORIDA FUEL GAS CODE (FBC-FG), 6TH EDITION (2017)
FLORIDA MECHANICAL CODE (FBC-M), 6TH EDITION (2017)
FLORIDA PLUMBING CODE (FBC-P), 6TH EDITION (2017)
FLORIDA FIRE PREVENTION CODE (FPFC), 6TH EDITION (2017)
NATIONAL ELECTRICAL CODE (NEC), 2014 EDITION
ASCE STANDARD 7-10 (STRUCTURAL WIND LOAD CRITERIA)
FLORIDA PRODUCT APPROVAL:
AS REQUIRED BY FLORIDA STATUTE 555.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBERS) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDABUILDING.ORG FOR MORE INFORMATION.

DISCLAIMER

PER CHAPTER 119, FLORIDA STATE STATUTES, ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN ARE CONFIDENTIAL.
THESE DOCUMENTS ARE THE PROPRIETARY PROPERTY OF M&D ARCHITECTS AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS ISSUE DATE AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.
ELECTRONIC DISTRIBUTION OF THESE DOCUMENTS IS NOT AUTHORIZED, UNLESS SPECIFICALLY APPROVED BY PROJECT ARCHITECT IN WRITING.

GENERAL NOTES

- THE EXISTING PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE FOR REQUESTING CLARIFICATION IN WRITING TO THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THERE WITHIN.
- BEFORE SUBMITTING FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CLEAR EXIT WAYS. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADE AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
- CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS POSTING APPLICABLE SAFETY REGULATIONS. CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION, VEHICLE ACCESS AND EGRESS LOCATIONS.
- NORMAL OPERATIONS OF THE REMAINING FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
- ALL PROPOSED INTERRUPTIONS TO OPERATIONS AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK UNLESS OTHERWISE APPROVED IN WRITING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE AND PLAN PRIOR TO PRE-CONSTRUCTION CONFERENCE.
- CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS. COMPARTMENT TRAILERS OR SIMILAR PROTECTIVE STORAGE FACILITIES MAY BE UTILIZED ON SITE TO SECURE ALL EQUIPMENT AND ITEMS REMOVED DURING PROJECT WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
- CONTRACTOR MAY UTILIZE AVAILABLE ELECTRICAL POWER AND WATER UTILITIES AT PROJECT JOB SITE.
- DUE TO THE NATURE OF THE FACILITY, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SPECIAL SECURITY MEASURES AT THE JOBSITE. ALL TOOLS, MATERIALS, EQUIPMENT, ETC. SHALL BE SECURED. SECURITY PROCEDURES WILL BE REVIEWED AT THE PRE-CONSTRUCTION CONFERENCE.
- ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
- INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER SHEET. WHERE CONFLICTS OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL FURNISH 'AS-BUILT' DRAWINGS TO THE ARCHITECT AT COMPLETION OF THE CONSTRUCTION. CHANGES SHALL BE INDICATED CLEARLY BY MECHANICAL DRAFTING METHODS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISES AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPE, ETC.) TO THEIR ORIGINAL CONDITION. ALL DISTURBED AREAS OF SOIL TO BE SOODED. ALL PLANTING REPLACEMENT TO BE GUARANTEED FOR ONE YEAR.
- CONTRACTOR SHALL ERECT ALL SAFEGUARDS TO PROTECT AREAS ADJACENT TO BUILDING SITES. INSTALL SILT FENCING AS REQUIRED TO CONTAIN CONSTRUCTION RUNOFF. REMOVE DEBRIS FROM JOB SITE DAILY AND ADHERE TO ENVIRONMENTAL REGULATIONS.

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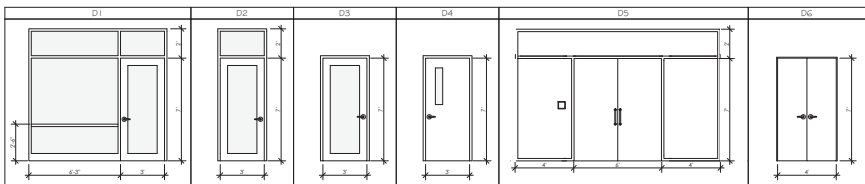
Attachment A - 100% Plans

ROOM ID	ROOM NAME	FLOORING	BASE	WALL FINISH				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	HEIGHT	FINISH	
D1	BREAK	F3	B1	F1	F1	F1	F1	10'-0"	C1 / C2	
D2	EXPANSION	EX	EX	EX	EX	EX	EX	EX	EX	
D3	CONFERENCE	F1	B1	F1	F1	F1	F1	11'-5"	C1 / C2 / C3	
D4	RECEPTION	F1 / F2	B1	F1	F1	F1	F1	9'-0"	C1 / C2	FINISH NOTE 4
D5	COPY	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D6	IT	F4	B1	F1	F1	F1	F1	OPEN		
D7	OPEN OFFICE	F1 / F2	B1	F1	F1	F1	F1	VARIES	C2 / C4	
D8	COLLABORATION	F1 / F2	B1	F1	F1	F1	F1	VARIES	C2 / C4	
D9	OFFICE A	F1	B1	F1	F1	F1	F1	10'-0"	C1 / C2	
D10	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D11	OFFICE B	F1	B1	F1	F1	F1	F1	10'-0"	C1 / C2	
D12	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D13	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D14	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D15	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D16	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D17	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	
D18	OFFICE B	F1	B1	F1	F1	F1	F1	10'-0"	C1 / C2	
D19	OFFICE D	F1	B1	F1	F1	F1	F1	9'-0"	C1 / C2	

1 FINISH SCHEDULE

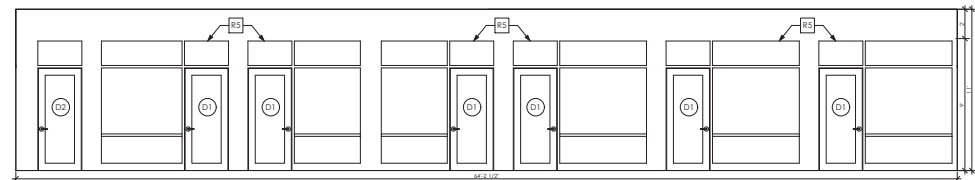
ID	QUAN.	UNIT SIZE	DOOR		FRAME		HARDWARE	GLAZING	REMARKS	
		WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH			
D1	6	3' 7"	7'	AL	---	AL	AL	H1	G2	FINISH NOTE 3
D2	1	3' 7"	7'	AL	---	AL	AL	H1	G2	FINISH NOTE 3
D3	4	3' 7"	7'	AL	---	AL	AL	H1	G2	FINISH NOTE 3
D4	2	3' 7"	7'	WD	ST	HM	F3	H2	G1	
D5	1	6'	7'	AL	---	AL	AL	H4	G3	FINISH NOTE 3
D6	1	4' 7"	7'	WD	ST	HM	F3	H3	---	

2 DOOR SCHEDULE



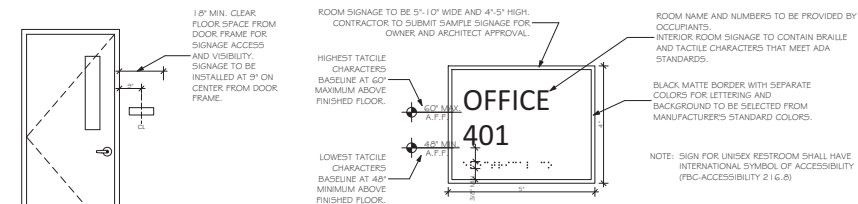
3 DOOR ELEVATION

SCALE: 1/4" = 1'-0"



4 OFFICE STOREFRONT ELEVATION

SCALE: 1/4" = 1'-0"



5 INTERIOR WALL SIGNAGE

SCALE: 1/2" = 1'-0"

6 SIGNAGE DETAIL

SCALE: 6" = 1'-0"

FINISH SCHEDULE NOTES

- FLOOR**
 F1 - CARPET TILE - SHAW, MINIMAL TILE, FINISH COLOR FRINGE - 64585
 F2 - CARPET TILE - SHAW, MINIMAL TILE, FINISH COLOR VERSE - 64555
 F3 - LVT - SHAW, UNCOMMON GROUND G, FINISH COLOR SAND DUNE - 02160
 F4 - STATIC DISSIPATIVE TILE - ARMSTRONGS, FINISH COLOR FOSSIL GRAY - 51956
- CEILING**
 C1 - ACOUSTICAL CEILING TILE - ARMSTRONG, ULTIMA, TEGULAR, WHITE, 24"x24"
 C2 - GYPSUM BOARD - F4
 C3 - LAMINATE - WILSONART, HPL, COLOR TO BE CHOSEN BY OWNER
 C4 - BATTLE BOARD - ARMSTRONG, METALWORKS BLADES, CLASSICS, ACOUSTICAL, WOOD LOOK EFFECTS, COLOR TO BE CHOSEN BY OWNER
- WALL BASE**
 B1 - VINYL BASE - BURKE, STANDARD #7, COLOR TO BE CHOSEN BY OWNER
- DOORS**
 WD - WOOD - SKIN SPECIES TO BE SELECTED BY OWNER
 GL - GLASS
- PAINTS**
 P1 - SHERWIN WILLIAMS - TO BE SELECTED BY OWNER
 P2 - SHERWIN WILLIAMS - TO BE SELECTED BY OWNER
 P3 - SHERWIN WILLIAMS - DOOR TRIM - MATCH TO BASE
 P4 - SHERWIN WILLIAMS - CEILING - WHITE
- NOTES**
 1. ALL ROOMS SHALL HAVE NEW SIGNAGE INSTALLED
 2. ALL FLOORING CHANGES SHALL RECEIVE A TRANSITION STRIP.
 3. FINISHES TO BE CHOSEN FROM MANUFACTURERS STANDARDS
 4. PROVIDE LEVEL 3 FINISH ON DRYWALL ON SOUTH WALL OF RECEPTION 04
 5. ROUND ALL CORNERS OF COUNTERTOPS IN PATHS OF TRAVEL WITHIN PROJECT.

HARDWARE SCHEDULE

- H1 - 3 HINGES, LEVER HANDLE, OFFICE LOCKSET, DOOR STOP, SILENCER
 H2 - 3 HINGES, LEVER HANDLE, PASSAGE LOCKSET, DOOR STOP, SILENCER
 H3 - 6 HINGES, FLUSH BOLTS, LEVER HANDLE, STOREROOM LOCKSET, DOOR STOP, SILENCER
 H4 - HARDWARE PROVIDED BY FURNITURE VENDOR
- NOTE: FIELD VERIFY ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.

DOOR NOTES

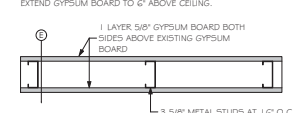
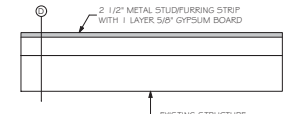
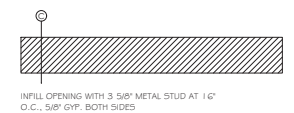
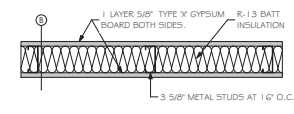
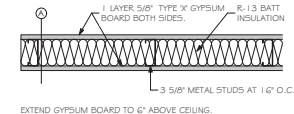
1. EXISTING DOOR TO REMAIN, REGGLUE AND REPAIR ANY DAMAGE TO DOOR AND FRAME. TREAT WOOD SUBSTRATE WITH PENETRATING HARDENER SOLUTION IN TWO APPLICATIONS. FILL SMALL VOIDS WITH TWO PART EPOXY WOOD FILLER/PATCHING COMPOUND. REFER TO HARDWARE SCHEDULE FOR NEW HARDWARE FOR ANY EXISTING DOORS TO REMAIN.
- GLAZING
 G1 - VIEW LIGHT, 6' x 30" (TYP.)
 G2 - FULL LITE DOOR 2' x 6'-0" (TEMPERED GLAZING)
 G3 - PROVIDED BY FURNITURE VENDOR

ABBREVIATIONS

N.I.C.	NOT IN CONTRACT	EX	EXISTING
A.F.F.	ABOVE FINISH FLOOR	WD	WOOD
SIM.	SIMILAR	HM	HOLLOW METAL
TYP.	TYPICAL	ST	STAIN
MIR.	MIRROR		

WALL TYPES

ALL METAL STUD ANCHORAGE SHALL BE BY POWER DRIVEN FASTENERS 24" O.C. ANCHOR TO CONCRETE SLAB. BRACE TO EXISTING CEILING STRUCTURE AS NEEDED.



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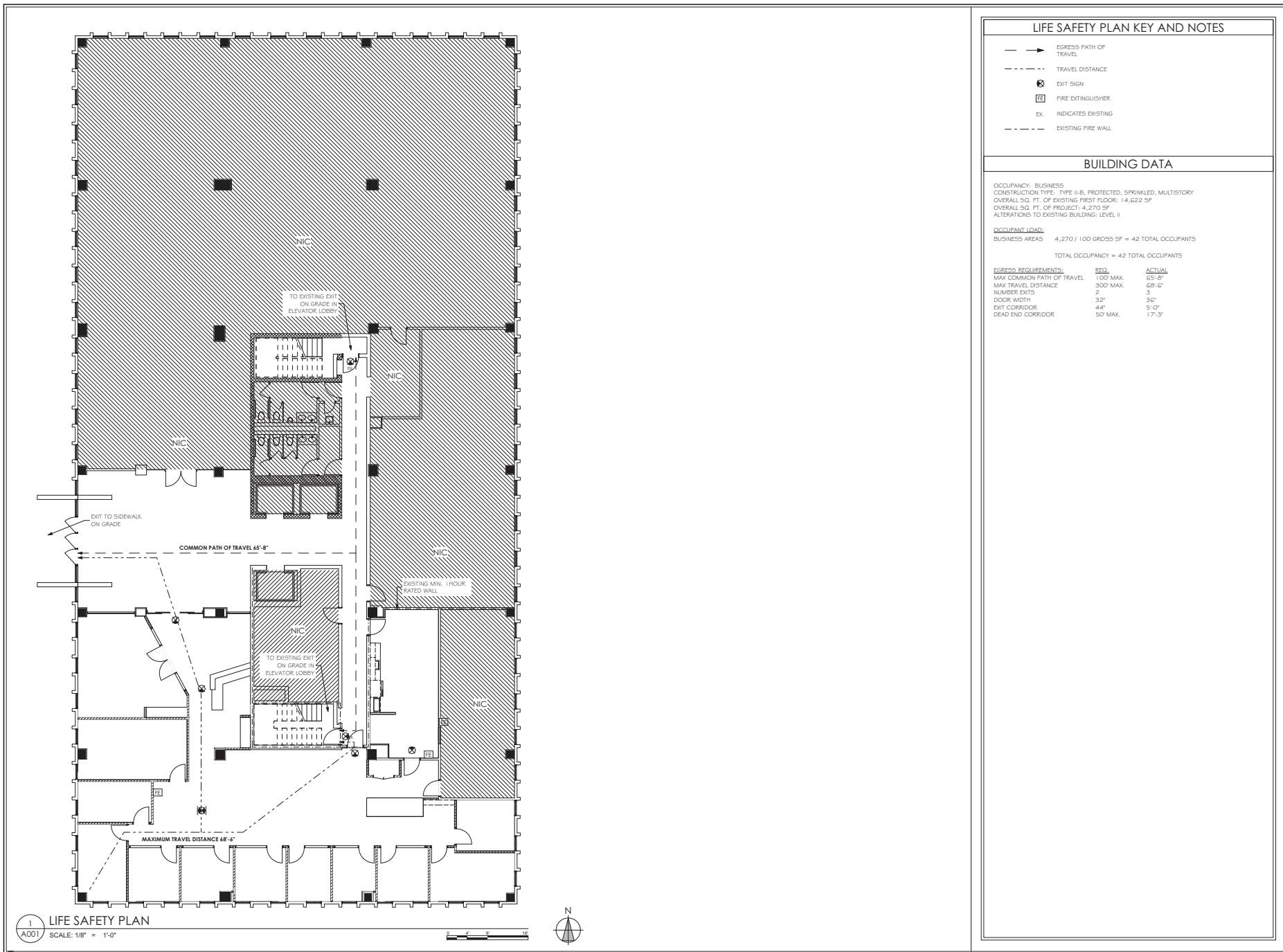
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SCHEDULES & NOTES

A000



LIFE SAFETY PLAN KEY AND NOTES

- ▶— EGRESS PATH OF TRAVEL
- - - - - TRAVEL DISTANCE
- ⊗ EXIT SIGN
- ☒ FIRE EXTINGUISHER
- EX. INDICATES EXISTING
- - - - - EXISTING FIRE WALL

BUILDING DATA

OCCUPANCY: BUSINESS
 CONSTRUCTION TYPE: TYPE II-B, PROTECTED, SPRINKLED, MULTISTORY
 OVERALL SQ. FT. OF EXISTING FIRST FLOOR: 14,622 SF
 OVERALL SQ. FT. OF PROJECT: 4,270 SF
 ALTERATIONS TO EXISTING BUILDING: LEVEL II

OCCUPANT LOAD:
 BUSINESS AREAS 4,270 / 100 GROSS SF = 42 TOTAL OCCUPANTS
 TOTAL OCCUPANCY = 42 TOTAL OCCUPANTS

CODES REQUIREMENTS	REQ.	ACTUAL
MAX COMMON PATH OF TRAVEL	100' MAX.	65'-8"
MAX TRAVEL DISTANCE	300' MAX.	69'-6"
NUMBER EXITS	2	3
DOOR WIDTH	32"	36"
EXIT CORRIDOR	44"	5'-0"
DEAD END CORRIDOR	50' MAX.	17'-3"

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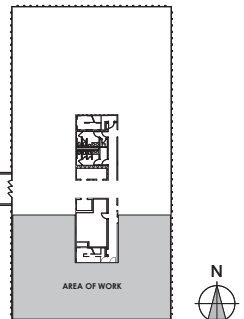
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LIFE SAFETY PLANS

A001

1 LIFE SAFETY PLAN
 A001 SCALE: 1/8" = 1'-0"

Attachment A - 100% Plans

<p style="text-align: center;">KEY PLAN</p>  <p style="text-align: center;">AREA OF WORK</p> <p style="text-align: right;">N</p>	<p style="text-align: center;">LEGEND</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none;"> <ul style="list-style-type: none"> NEW DOOR, SEE DOOR SCHEDULE, SHEET A000 EXISTING DOOR TO REMAIN EXISTING DOOR TO BE REMOVED NEW WINDOW, SEE WINDOW SCHEDULE, SHEET A000 EXISTING WINDOW TO REMAIN EXISTING WINDOW TO BE REMOVED <p>ROOM</p> <ul style="list-style-type: none"> 000 ROOM NAME & NUMBER N.I.C. NOT IN CONTRACT A.F.F. ABOVE FINISH FLOOR SIM. SIMILAR TYP. TYPICAL M.R. MIRROR </td> <td style="width: 50%; border: none;"> <ul style="list-style-type: none"> EXISTING CMU WALL EXISTING PARTITION TO REMAIN EXISTING PARTITION WALL TO BE REMOVED INTERIOR WALL - SEE WALL SCHEDULE ON SHEET A000, PRIME AND PAINT TWO COATS. INFILLED SECTION OF WALL DOOR/WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND FINISH. ELEVATION/SECTION NUMBER SHEET NUMBER WORK LEGEND NOTE PHOTO MARKER PHOTO # / SHEET # </td> </tr> </table>	<ul style="list-style-type: none"> NEW DOOR, SEE DOOR SCHEDULE, SHEET A000 EXISTING DOOR TO REMAIN EXISTING DOOR TO BE REMOVED NEW WINDOW, SEE WINDOW SCHEDULE, SHEET A000 EXISTING WINDOW TO REMAIN EXISTING WINDOW TO BE REMOVED <p>ROOM</p> <ul style="list-style-type: none"> 000 ROOM NAME & NUMBER N.I.C. NOT IN CONTRACT A.F.F. ABOVE FINISH FLOOR SIM. SIMILAR TYP. TYPICAL M.R. MIRROR 	<ul style="list-style-type: none"> EXISTING CMU WALL EXISTING PARTITION TO REMAIN EXISTING PARTITION WALL TO BE REMOVED INTERIOR WALL - SEE WALL SCHEDULE ON SHEET A000, PRIME AND PAINT TWO COATS. INFILLED SECTION OF WALL DOOR/WINDOW. INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND FINISH. ELEVATION/SECTION NUMBER SHEET NUMBER WORK LEGEND NOTE PHOTO MARKER PHOTO # / SHEET #
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 DEMOLITION NOTES THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL REMOVE ALL FLOORING AND BASEBOARDS, REMOVE CEILING GRID AND ACOUSTICAL TILE, INFILL POWER/DATA BOXES AS NEEDED, REMOVE ALL SCREWS AND NAILS, PATCH/FILL AND REPAIR WALLS AS NEEDED, AND REMOVE AND SALVAGE WINDOW BLINDS FOR REUSE. - D1** REMOVE INTERIOR WALL/PORTION OF WALL. TAKE CARE TO PROTECT ADJACENT SURFACES TO REMAIN. - D2** REMOVE DOOR AND FRAME. - D3** REMOVE WIREMOLD ON WALLS (TYP.). - D4** REMOVE SINK AND BASE CABINET, COORDINATE WITH PLUMBING DRAWINGS. - D5** REMOVE BASE CABINETS/UPPER CABINETS, PATCH/REPAIR DAMAGED AREAS. - D6** REMOVE CASEWORK. - D7** CUT OPENING FOR NEW DOOR. - D8** REMOVE ALL FLOORING DOWN TO CONCRETE SUBSTRATE. CLEAN AND PREPARE FOR NEW FLOORING. - D9** REMOVE ALL GYPSUM BOARD CEILING, CEILING GRID AND TILES, AND CEILING EQUIPMENT. | **DEMOLITION NOTES (CONT'D)** |

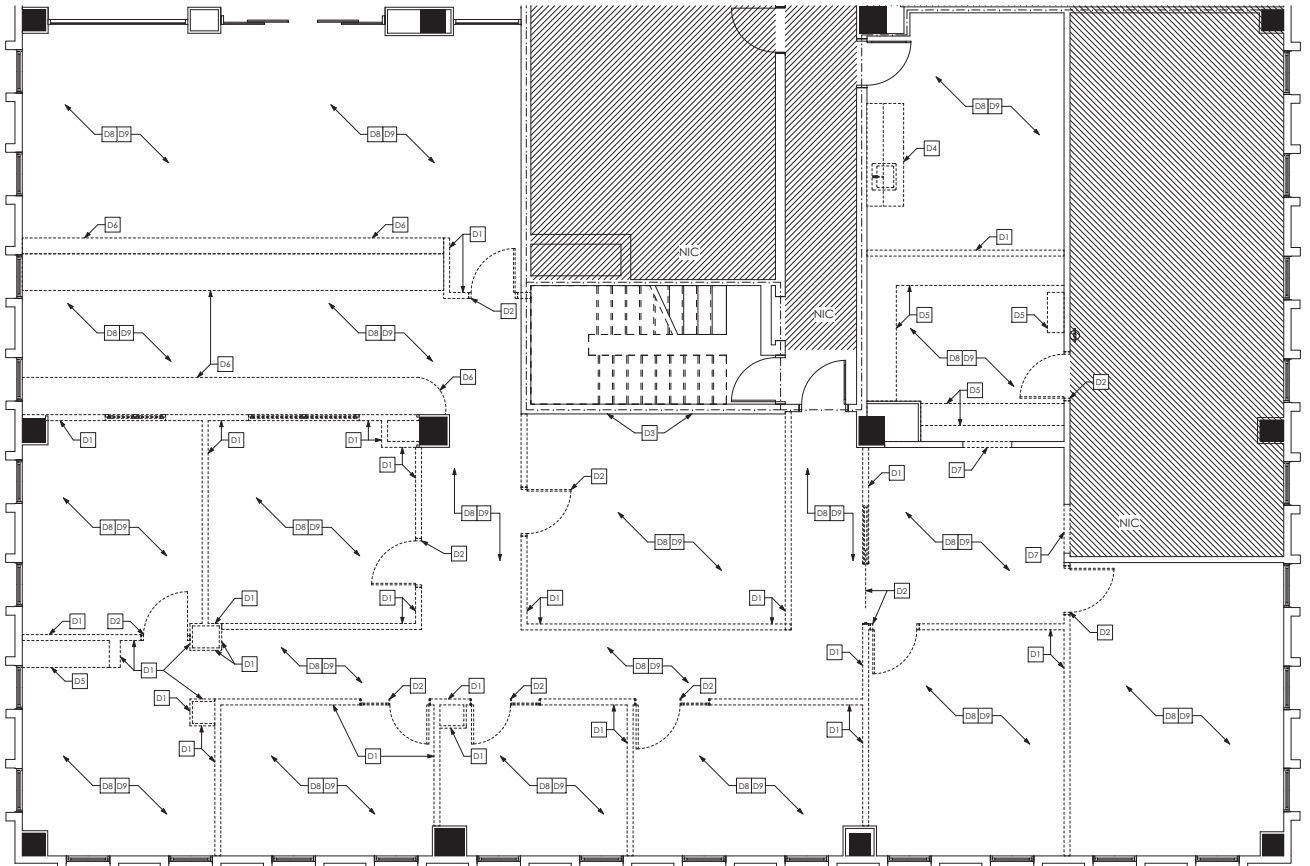
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ARCHITECTS

**ARCHITECTURE
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DEMOLITION PLAN

A100 SCALE: 1/4" = 1'-0"

**BANK OF AMERICA 1ST FLOOR RENOVATIONS
 OFFICE OF ECONOMIC VITALITY
 TALLAHASSEE, FLORIDA**

100% SUBMITTAL

PROJ. NO.:	140619
DATE:	06/27/2019
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APPROVED:	BP
REVISION:	
REVISION DATE:	

DEMOLITION PLAN

A100

Attachment A - 100% Plans

KEY PLAN

AREA OF WORK

LEGEND

	NEW DOOR, SEE DOOR SCHEDULE, SHEET A000		EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN		EXISTING PARTITION WALL TO BE REMOVED
	EXISTING DOOR TO BE REMOVED		INTERIOR WALL - SEE WALL SCHEDULE ON SHEET A000. PRIME AND PAINT TWO COATS.
	NEW WINDOW, SEE WINDOW SCHEDULE, SHEET A000		INFILLED SECTION OF WALL/DOOR/WINDOW, INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND FINISH.
	EXISTING WINDOW TO REMAIN		ELEVATION/SECTION NUMBER SHEET NUMBER
	EXISTING WINDOW TO BE REMOVED		WORK LEGEND NOTE
ROOM 000 ROOM NAME # NUMBER			PHOTO MARKER
N.I.C. NOT IN CONTRACT			PHOTO # / SHEET #
A.F.F. ABOVE FINISH FLOOR			
SIM. SIMILAR			
TYP. TYPICAL			
M.R. MIRROR			

RENOVATION NOTES

THESE WORK ITEMS ARE TYPICAL AND MAY NOT BE ALL INCLUSIVE BUT INTENDED TO SUPPLEMENT THE DRAWINGS AND DETAILS AND CLARIFY THE SCOPE OF WORK. WORK LEGEND ITEMS ARE TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOLS ARE NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL NEW FLOORING, BASEBOARD, CEILING GRID AND ACOUSTICAL TILE THROUGHOUT.

FIELD VERIFY ALL DIMENSIONS. ANY ADJUSTMENTS NECESSARY MUST MEET CODE REQUIREMENTS FOR CLEARANCES AND ADA STANDARDS.

PRIME AND PAINT TWO COATS ALL WALLS AS LISTED ON FINISH SCHEDULE.

FIRE SEAL ALL NEW & EXISTING PENETRATIONS THROUGH NEW & EXISTING FIRE RATED WALLS, FLOORS AND CEILINGS.

REINSTALL SALVAGED WINDOW BLINDS.

R1 EXISTING 1-HOUR MINIMUM FIRE RATED PARTITION TO REMAIN, CONTRACTOR TO ENSURE ALL EXISTING AND NEW WALL PENETRATIONS/JUNCTIONS ARE PROPERLY FIRE SEALED.

R2 INSTALL NEW WALL, FINISHED FACE OF NEW WALL TO ALIGN WITH FINISHED FACE OF EXISTING WALL/COLUMN, INSTALL LIGHT GAUGE METAL FRAMING/FURRING STRIPS AS NEEDED (SEE WALL TYPES). PRIME AND PAINT TWO COATS.

R3 INSTALL NEW WALL INFILL WHERE DOOR WAS REMOVED, SEE WALL TYPES, PRIME AND PAINT TWO COATS.

R4 INSTALL SOUND BATT INSULATION ABOVE NEW AND EXISTING PARTITION WALLS AND CEILINGS, 3" EITHER SIDE OF WALL.

R5 INSTALL NEW STORE FRONT SYSTEM.

R6 INSTALL NEW DOOR, SEE DOOR SCHEDULE.

RENOVATION NOTES (CONT'D)

R7 INSTALL NEW BASECUPPER CABINETS.

R8 INSTALL TV CASEWORK.

R9 INSTALL NEW COUNTER.

R10 INSTALL NEW RECEPTION DESK.

R11 REPLACE EXISTING SINK, COORDINATE WITH PLUMBING DRAWINGS.

R12 INSTALL NEW SPECIFIED FIRE EXTINGUISHER IN COMPLIANCE WITH NFPA 101:38.3.5 AND NFPA 10.5.1.4.

R13 INSTALL OWNER PROVIDED AV AND TELEVISION EQUIPMENT, PROVIDE BLOCKING AS NEEDED, COORDINATE WITH ENGINEER'S FRAMINGS.

R14 INSTALL CASPER FILM PER MANUFACTURER'S INSTRUCTIONS.

R15 INSTALL NEW EXIT SIGN, COORDINATE WITH ELECTRICAL DRAWINGS.

R16 INSTALL GYPSUM BOARD HEADER.

R17 INSTALL NEW GYPSUM BOARD SOFFIT.

R18 INSTALL NEW LAMINATED SOFFIT.

R19 INSTALL NEW ARMSTORE METALWORK'S BLADES.

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1 RENOVATION PLAN
 SCALE: 1/4" = 1'-0"

2 ENLARGED RECEPTION DESK PLAN
 SCALE: 1/2" = 1'-0"

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OFFICE OF ECONOMIC VITALITY
 TALLAHASSEE, FLORIDA

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RENOVATION PLAN

A101

Attachment A - 100% Plans

KEY PLAN

LEGEND

	NEW DOOR, SEE DOOR SCHEDULE, SHEET A000		EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN		EXISTING PARTITION WALL TO BE REMOVED
	EXISTING DOOR TO BE REMOVED		INTERIOR WALL - SEE WALL SCHEDULE ON SHEET A000. PRIME AND PAINT TWO COATS.
	NEW WINDOW, SEE WINDOW SCHEDULE, SHEET A000		INFILLED SECTION OF WALL/DOOR/WINDOW, INFILL ALL INDICATED OPENINGS TO MATCH EXISTING CONSTRUCTION AND FINISH.
	EXISTING WINDOW TO REMAIN		ELEVATION/SECTION NUMBER SHEET NUMBER
	EXISTING WINDOW TO BE REMOVED		WORK LEGEND NOTE
ROOM	ROOM NAME # NUMBER		PHOTO MARKER
N.I.C.	NOT IN CONTRACT		PHOTO # / SHEET #
A.F.F.	ABOVE FINISH FLOOR		
SIM.	SIMILAR		
TYP.	TYPICAL		
M.R.	MIRROR		

RENOVATION NOTES

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- R5 INSTALL NEW STORE FRONT SYSTEM.
- R6 INSTALL NEW DOOR, SEE DOOR SCHEDULE.

RENOVATION NOTES (CONT'D)

- R7 INSTALL NEW BASECUPPER CABINETS.
- R8 INSTALL TV CASEWORK.
- R9 INSTALL NEW COUNTER.
- R10 INSTALL NEW RECEPTION DESK.
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- R19 INSTALL NEW ARMSTRONG METALWORK'S BLADES.

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FURNITURE PLAN

SCALE: 1/4" = 1'-0"

1
A102

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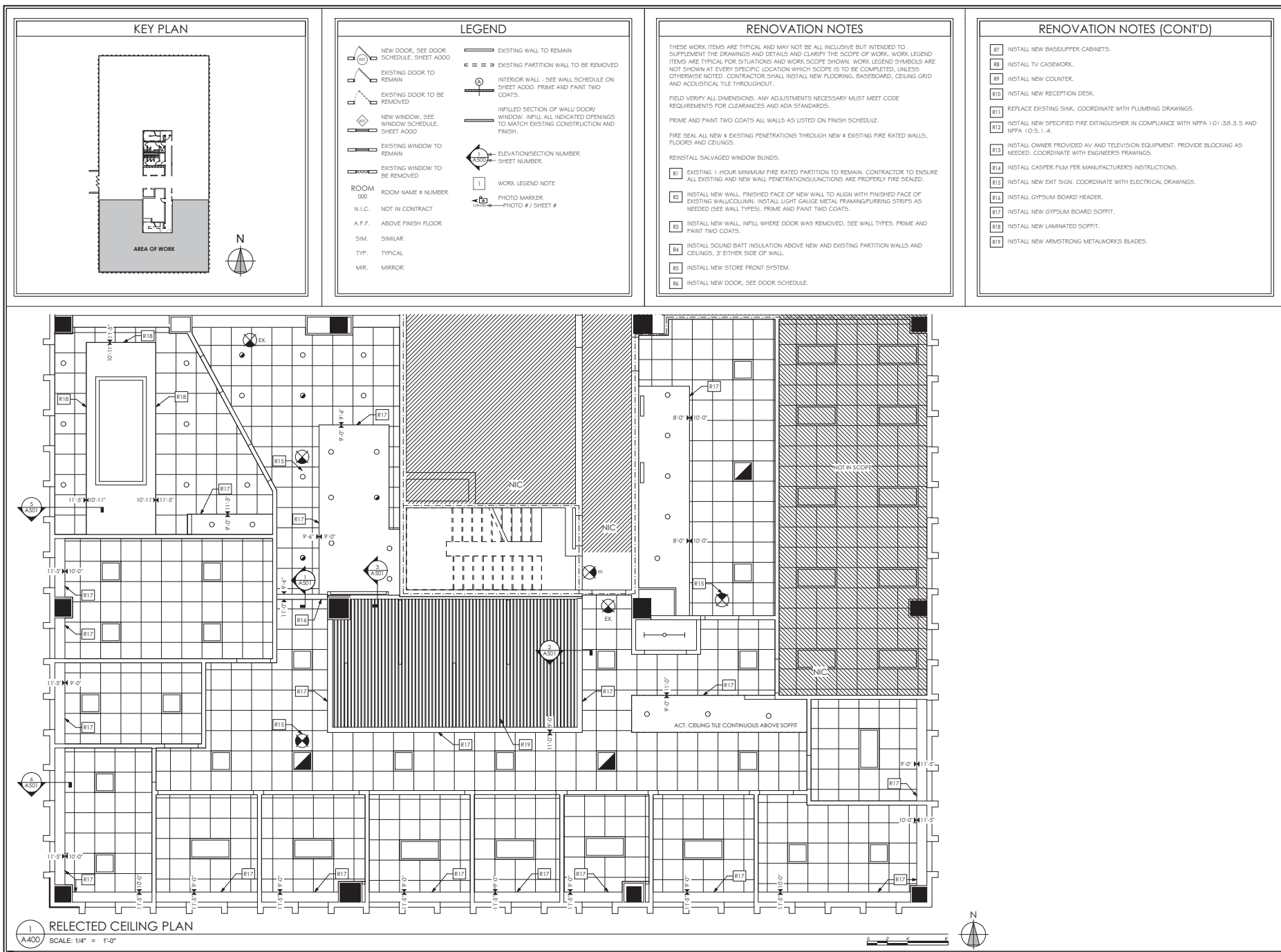
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FURNITURE PLAN

A102

Attachment A - 100% Plans



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REFLECTED CEILING PLAN

A400

Attachment A - 100% Plans

1 HEADER DETAIL
SCALE: 3" = 1'-0"

2 OPEN SYSTEMS CEILING DETAIL
SCALE: 3" = 1'-0"

3 PERIMETER LIGHTING DETAIL
SCALE: 3" = 1'-0"

4 INTERIOR DOOR HEAD AND SILL DETAIL
SCALE: 3" = 1'-0"

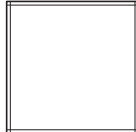
5 LAMINATE SOFFIT DETAIL
SCALE: 3" = 1'-0"

6 OFFICE SOFFIT DETAIL
SCALE: 3" = 1'-0"

7 DOOR JAMB DETAIL
SCALE: 3" = 1'-0"

Labels in details include: ACT. CEILING TILE, 3 5/8" METAL STUDS AT 16" O.C., ATTACH TO STRUCTURE ABOVE, DOUBLE BOTTOM TRACK, 5/8" GYPSUM BOARD, PRIMED AND PAINTED, ARMSTRONG TRACK SYSTEM WITH CLIPS, ARMSTRONG METALWORKS BLADES WITH CLIPS, LIGHT GAUGE METAL STUD FRAMING FASTENED TO STRUCTURE ABOVE, WALL RAIL, MOUNTING CABLE, COORDINATE WITH ELECTRICAL DRAWINGS FOR PERIMETER LIGHTING, LEVEL 5 FINISH ON DRYWALL AT LIGHT LOCATION, 5/8" GYPSUM BOARD, PRIMED AND PAINTED, DOUBLE 4" METAL STUDS, TYP., 5/8" GYPSUM BOARD, METAL FRAME, DOOR PER SCHEDULE, FLOORING BY OWNER, SEE SCHEDULE, FLOORING MATERIAL TRANSITION AS NEEDED, WALL BEYOND, LIGHT GAUGE METAL STUD FRAMING FASTENED TO STRUCTURE ABOVE, ACT. CEILING TILE, 3/4" PLYWOOD WITH LAMINATE, 3 5/8" METAL STUD, 3/4" PLYWOOD WITH LAMINATE, TV CASEWORK BEYOND, EXISTING WALL / WINDOW FRAME, EXISTING WINDOW, EXISTING WALL / WINDOW FRAME, EXISTING WINDOW, ACT. CEILING TILE, DOUBLE BOTTOM TRACK, 5/8" GYPSUM BOARD, PRIMED AND PAINTED, ACT. CEILING TILE, 5/8" GYPSUM BOARD, METAL FRAME, SILL BEYOND, JAMB ANCHORS, MIN. 3 PER JAMB, DOUBLE 4" METAL STUDS, TYP.

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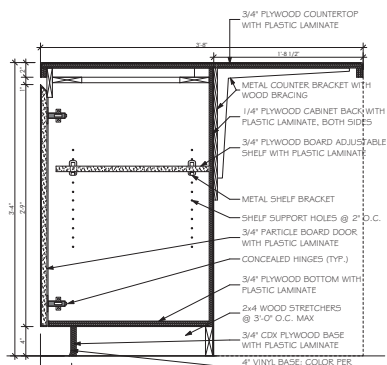


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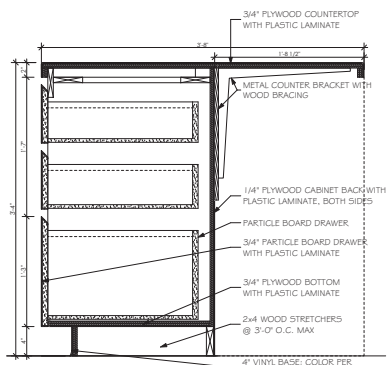
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DETAILS	
A501	

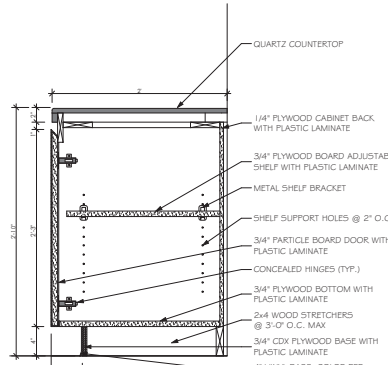
Attachment A - 100% Plans



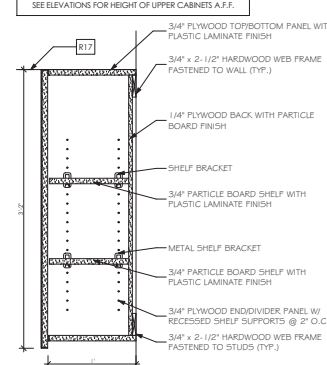
1 COPY CASEWORK DOORS
A500 SCALE: 1 1/2" = 1'-0"



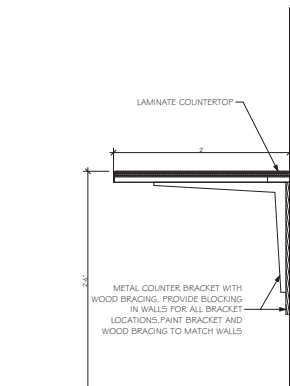
2 COPY CASEWORK DRAWERS
A500 SCALE: 1 1/2" = 1'-0"



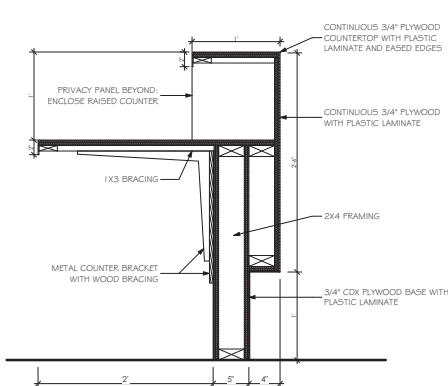
3 CONFERENCE CASEWORK
A500 SCALE: 1 1/2" = 1'-0"



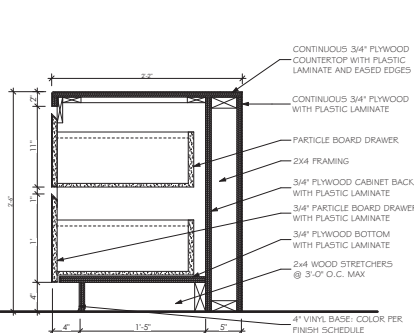
4 CASEWORK OVERHEADS
A500 SCALE: 1 1/2" = 1'-0"



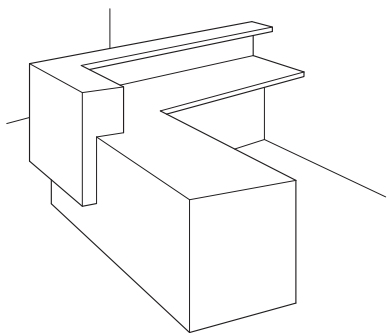
5 WORKSPACE COUNTER
A500 SCALE: 1 1/2" = 1'-0"



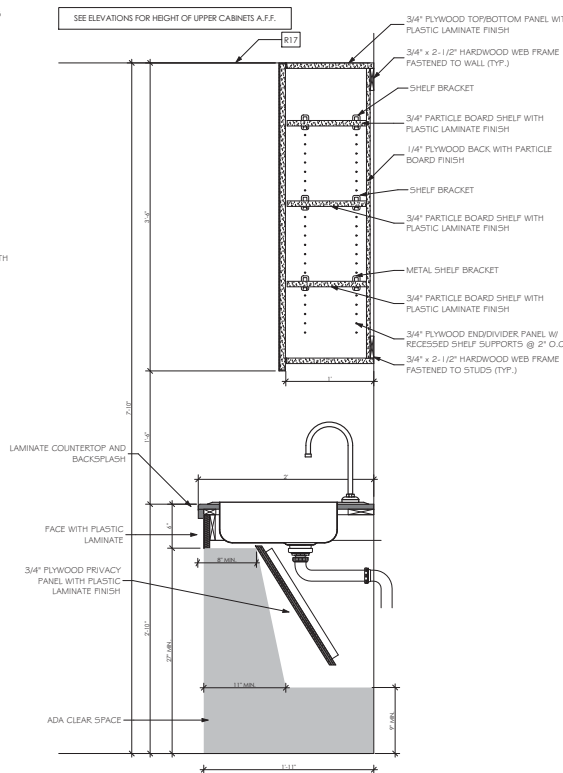
6 RECEPTION DESK DETAIL
A500 SCALE: 1 1/2" = 1'-0"



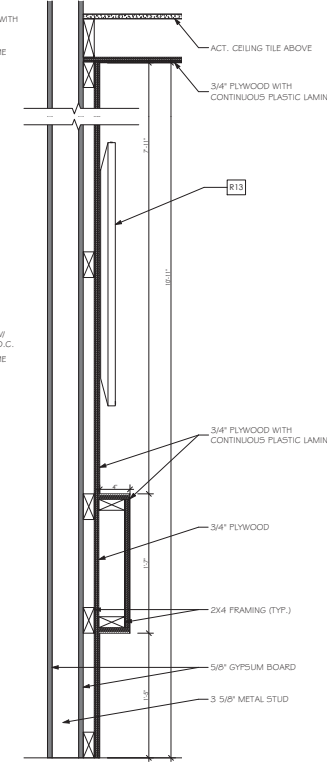
7 RECEPTION DESK DRAWER DETAIL
A500 SCALE: 1 1/2" = 1'-0"



8 RECEPTION DESK PERSPECTIVE
A500 SCALE: 1 1/2" = 1'-0"



9 BREAK ROOM SINK
A500 SCALE: 1 1/2" = 1'-0"



10 TV CASEWORK DETAIL
A500 SCALE: 1 1/2" = 1'-0"

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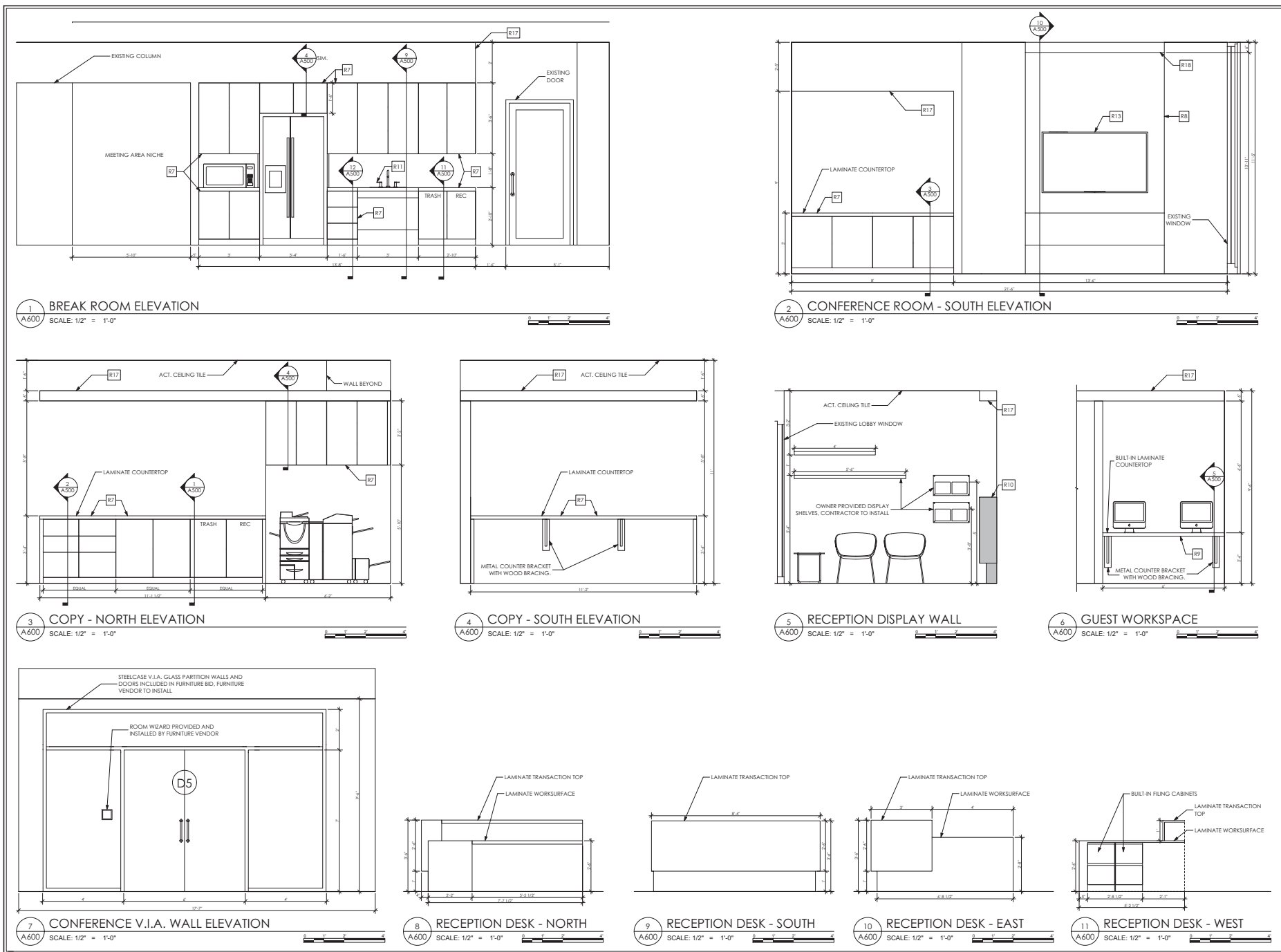
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DETAILS

A500

Attachment A - 100% Plans



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INTERIOR ELEVATIONS

A600

Attachment A - 100% Plans

DUCTLESS SPLIT SYSTEM SCHEDULE - COOLING ONLY		
INDOOR UNIT DESIGNATION		058L-L1
OUTDOOR UNIT DESCRIPTION		2500-L1
TOTAL COOLING CAPACITY		9
INDOOR UNIT DATA		
AIR QUANTITY (PER FLOW)	CFM	417244
CONDENSATE DRAIN SIZE	IN.	5/8
UNIT WEIGHT	LBS.	18

OUTDOOR UNIT DATA		
ELECTRICAL CHARACTERISTICS	VOLTS	208Y
MINIMUM CIRCUIT AMPACITY	AMPS	10.7
MAXIMUM OVERLOAD PROTECTION	AMPS	15
UNIT WEIGHT	LBS.	55

REFRIGERANT		
SEER		19
MANUFACTURER		DAIKIN
MODEL NUMBER (INDOOR UNIT)		F720BR09V
MODEL NUMBER (OUTDOOR UNIT)		R090BR09V
DETAIL REFERENCE		DAI001

- NOTES:**
- PROVIDE ELECTRICAL PROGRAMMABLE THERMOSTAT.
 - REFRIGERANT PIPING SHALL BE MADE BY MANUFACTURER OR SUPPLIED SYSTEM.
 - PROVIDE CONDENSATE PUMP.
 - SET OUTDOOR UNIT AIR QUANTITY TO 100%.

CEILING SUPPLY DIFFUSERS						
SYMBOL	CFM	NECK SIZE	MINIMUM-MAXIMUM 10' SPACING	HARD CEILING	LAKE CEILING	FACE DIMENSION
	40-80	8"	4'-0"	12x12	24x24	24x24
	85-180	10"	4'-0"	12x12	24x24	24x24
	185-340	10"	8'-0"	24x24	24x24	24x24
	345-500	12"	8'-0"	24x24	24x24	24x24
	555-600	14"	10'-12"	24x24	24x24	24x24

NOTE:
1. ROUND DUCTS TO DIFFUSERS SHALL BE THE SAME SIZE AS THE INDICATED NECK SIZE.
2. SUPPLY AIR DEVICES SHALL BE PRECISE SIP OR COMPARABLE PRODUCT.

CEILING RETURN OR EXHAUST REGISTERS AND GRILLES						
SYMBOL	CFM	GRILLE SIZE	RETURN DUCT (NOTE 1)	EXHAUST DUCT (NOTE 2)	FACE DIMENSION	RETURN DUCT (NOTE 3)
	8-32	8x8	1/2"	1/2"	8x8	6x6
	10-125	10x10	1/2"	1/2"	10x10	6x6
	200-255	12x12	1/2"	1/2"	10x10	6x6
	300-355	18x18	1/2"	1/2"	12x12	6x6
	600-655	22x22	1/2"	1/2"	12x12	6x6
	700-755	24x24	1/2"	1/2"	12x12	6x6
	800-1000	48x24	1/2"	1/2"	18x24	6x6

- NOTES:**
- USE DUCT GRILLE SIZE FOR ALL LINER CEILING APPLICATIONS. USE SIZE INDICATED FOR HARD CEILING APPLICATIONS.
 - WHERE DUCT CONNECTIONS SHOWN, RETURN DUCT SHALL BE SIZE SHOWN IN SCHEDULE ONLY.
 - USE 1/2" DIA. GRILLE SIZE AND 1/2" DIA. RETURN DUCT FOR HARD CEILING APPLICATIONS WHERE SIZE OR AIRFLOW NOT INDICATED.
 - USE DUCT RETURN DUCT FOR LINER CEILING APPLICATIONS WHERE AIRFLOW NOT INDICATED.
 - RETURN AIR REGISTERS SHALL BE PRECISE SIP OR COMPARABLE PRODUCT.

TERMINAL BOX DESIGNATION AND BALANCE CHART (EXISTING TERMINAL BOXES)									
TERMINAL UNIT DESIGNATION (OVT-)	000	004	108	110	112	116			
SCHEDULED TYPE	B	A	C	D	B	A			
MAXIMUM DESIGN AIRFLOW (CFM)	160	442	510	1600	470	400			
MINIMUM DESIGN AIRFLOW (CFM)	130	145	260	500	140	140			
HEATING DESIGN AIRFLOW (CFM)	130	142	260	500	140	140			
COOL DESIGN WATER FLOW (GPM)	5.8	5.4	5.6	1.6	5.4	5.3			

SINGLE DUCT TERMINAL - HOT WATER COIL UNIT SCHEDULE			
TYPE	B		
PRIMARY AIR VALVE			
MINIMUM AIR VALVE DIAMETER	1/2"		
AIR VALVE MINIMUM AIR FLOW CAPACITY	800		
AIR VALVE MINIMUM AIR FLOW UNIT	150		
MAXIMUM TOTAL LINE PRESSURE DROP	0.25		
MAX. INDICATED SOUND RATING @ 1" INLET PRESSURE	25		
HEATING COIL DATA			
COIL ENTERING AIR TEMPERATURE	7°		
ENTERING AND LEAVING WATER TEMPERATURE	7°-9°		
COIL MINIMUM PRESSURE DROP	FT./100		
WATER PIPING RUNOUT SIZE	1/2"		
CONTROL VALVE TYPE	2-WAY		
CONTROL VALVE CONFIGURATION			
DETAIL REFERENCE	A110001		

TERMINAL BOX DESIGNATION AND BALANCE CHART			
TERMINAL UNIT DESIGNATION (OVT-)	V15102	V15103	
SCHEDULED TYPE	B	B	
MAXIMUM DESIGN AIRFLOW	CFM	590	630
MINIMUM DESIGN AIRFLOW	CFM	180	190
HEATING DESIGN AIRFLOW	CFM	180	190
COOL DESIGN WATER FLOW	GPM	5.5	5.5

PIPPING SCHEDULE						
PIPING SYSTEM	PIPE SIZE	MATERIAL	FITTINGS	JACKETS	INSULATION	
CONDENSATE	1/2" AND SMALLER	PVC ASTM D756 SCHEDULE 40	PVC AT 90° 2017 SOIL-40 SOCKET HEMPHREY SOLVENT	GLUE ALUMINUM CORRUGATED JACKET FOR EXPOSED TO VIEW INSULATION	* FLEXIBLE ELASTOMERIC EXPANDED CLOSED CELL PREFORMED TUBES	
REFRIGERANT (GAS)	2" AND SMALLER	DRAWN COPPER ASTM B88 TYPE L	WROUGHT COPPER PIPE 91.22 565 SILVER SOLDER	GLUE ALUMINUM CORRUGATED JACKET FOR EXPOSED TO VIEW INSULATION	* FLEXIBLE ELASTOMERIC EXPANDED CLOSED CELL PREFORMED TUBES	
REFRIGERANT (LIQUID)	2" AND SMALLER	DRAWN COPPER ASTM B88 TYPE L	WROUGHT COPPER PIPE 91.22 565 SILVER SOLDER	GLUE ALUMINUM CORRUGATED JACKET FOR EXPOSED TO VIEW INSULATION	* FLEXIBLE ELASTOMERIC EXPANDED CLOSED CELL PREFORMED TUBES	

AIR DISTRIBUTION	
	RECTANGULAR SHEET METAL DUCT
	ROUND SHEET METAL DUCT
	FLEXIBLE RUNOUT DUCT
	SUPPLY AIR DUCTWORK SECTION
	RETURN AIR EXHAUST AIR DUCTWORK SECTION
	AIR BALANCING DAMPER (MANUAL)
	AIR BALANCING DAMPER (MOTORIZED)
	DUCT ELBOW WITH SINGLE THICKNESS TURNING VANES
	NEW DUCT
	EXISTING DUCT TO REMAIN
	EXISTING MATERIALS TO BE REMOVED
	FIRE DAMPENER DUCT
	SQUARE CEILING AIR DIFFUSER AND AIR FLOW (200) SEE SCHEDULE FOR NOTES (UNLESS NOTED OTHERWISE)
	SINGLE DUCT FAN TERMINAL UNIT - SEE DETAIL A1001
	DUCT ISOLATED SMOKE DETECTOR (PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR)
	LENGTH OF DIFFUSER (FEET)
	SLOT WIDTH (INCHES)
	AIR FLOW (CFM)
	AIR VELOCITY (FEET PER MINUTE) DIRECTION INDICATED - SEE DETAIL A001

- NOTES:**
- PROVIDE NEW AIR FILTERS IN EACH UNIT UNLESS OTHERWISE NOTED. WHEN THE PROJECT IS READY FOR TEST AND BALANCE, REMOVE EXISTING FILTERS FROM ALL CEILING RETURN AIR REGISTERS AND FROM ALL SUPPLY AIR REGISTERS. REMOVE EXISTING FILTERS FROM ALL CEILING RETURN AIR REGISTERS AND FROM ALL SUPPLY AIR REGISTERS. REMOVE EXISTING FILTERS FROM ALL CEILING RETURN AIR REGISTERS AND FROM ALL SUPPLY AIR REGISTERS.
 - WHEREVER THE DEPTH OF THE TRUNK DUCT EXCEEDS THAT OF THE ROUND RUNOUT DUCT QUARTER, PROVIDE TRANSITIONING TO MAINTAIN EQUIVALENT AREA TO THE ROUND DUCT.
 - WHERE ROUND DUCT IS INDICATED ON PLANS, USE SERIAL VOLUME DUCTWORK, "20" ROUND DUCTWORK IS NOT ACCEPTABLE.
 - PROVIDE DAMPERS OF STAINLESS STEEL AT INLET TO ALL BOXES. DUCT SIZE SHALL BE SAME AS BOX INLET. IF INLET DUCT LENGTH EXCEEDS 10 FEET, PROVIDE 1/2" DIA. BOXES. DUCT SIZE SHALL BE SAME AS BOX INLET.
 - PROVIDE ROUND DUCT CONNECTIONS AT EACH EQUIPMENT CONNECTION.
 - WHERE ROUND DAMPERS OR COALS ARE INSTALLED IN DUCTWORK, PROVIDE DUCT ACCESS DOORS TO ALLOW INSPECTION OF COALS. PROVIDE COALS ACCESS PANELS WHERE INSTALLED IN ACCESSIBLE LOCATIONS. PANELS SHALL BE CONTRACTOR SUPPLY, BEARING LABEL.
 - IT IS RECOMMENDED THAT DUCTWORK BE FABRICATED FROM FIELD MEASUREMENTS TAKEN AS THE BUILDING STRUCTURE AND SPACE CONDITIONS ARE PROGRESSIVELY INSTALLED. THE DUCTWORK AS SHOWN ON THE CONTRACT DOCUMENTS IS RECOMMENDED AND DOES NOT NECESSARILY INCLUDE ALL WORK REQUIRED TO AVOID THESE INTERFERENCES. BEFORE FABRICATING ANY DUCTWORK, CHECK THE PHYSICAL CONDITIONS AT THE COALS AND MAKE CORRECTIONS TO THE CONTRACT DOCUMENTS. COALS AND SMALLER ROUND DAMPERS SHALL BE INSTALLED AS SHOWN. PROVIDE COALS ACCESS PANELS WHERE INSTALLED IN ACCESSIBLE LOCATIONS. PANELS SHALL BE CONTRACTOR SUPPLY, BEARING LABEL. PROVIDE COALS ACCESS PANELS WHERE INSTALLED IN ACCESSIBLE LOCATIONS. PANELS SHALL BE CONTRACTOR SUPPLY, BEARING LABEL.
 - APPLY EXTERNAL INSULATION TO SINGLE WALL SUPPLY DUCTS, RETURN DUCTS AND OUTSIDE AIR DUCTS FOR OPERATIONAL, CODES AND ENERGY EFFICIENCY REASONS. INSULATION SHALL BE 1/2" THICK POLYURETHANE FOAM INSULATION. INSULATE ALL DUCTS AND DUCTS INDICATED ON PLANS TO HAVE INSULATION. DUCT WORK SHALL NOT REQUIRE EXTERNAL INSULATION.
 - PROVIDE VALVE CONTROL COMPARTMENT IN EACH TRANSIT FITTING TO SUPPLY AIR DIFFUSERS AND EXHAUST AIR AND RETURN AIR GRILLES AND AT EACH DUCT BRANCH SERVING TWO OR MORE AIR TERMINALS, WHETHER SHOWN ON THE DRAWINGS OR NOT.
 - PROVIDE INSULATION FOR CHILLED WATER, HEATING HOT WATER, CONDENSER WATER, STEAM, STEAM CONDENSATE AND COOLING COILS. CONDENSATE SHALL BE VENT. REFER TO SCHEDULE FOR RUNOUT PIPE SIZE TO INDIVIDUAL EQUIPMENT.
 - SECTION OF PIPES STORED ON SITE OR PLACED BY TRUCKS SHALL HAVE EACH OPEN END COVERED AT ALL TIMES EXCEPT WHILE MAKING CONNECTIONS. IT DEPENDS 3/4" INSULATED PIPE. IT SHALL BE COMPLETELY REMOVED PRIOR TO CONNECTIONS.
 - PROVIDE ACCESS PANEL AT EACH LOCATION WHERE A VALVE DAMPER OR OTHER DEVICE REQUIRES SERVICE. IF LOCATED ABOVE AN ACCESSIBLE CEILING OR UNDER A WALL, ACCESS PANELS IN RATE CONSTRUCTION SHALL BEAR ALL LOADS. COORDINATE ACCESS PANEL LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL ADHERE TO ALL REGULATORY/LOCAL STATE UNIVERSITY REFRIGERANT RECOVERY GUIDELINES WHEN REMOVING AIR EQUIPMENT CONTAINING REFRIGERANTS.
 - INSTALL ALL SERVICES, TUBES AND VACUUM EXISTING EXTERNAL DUCT INSULATION. SEAL INSULATION USING ALUMINUM DUCT TAPE.
 - BEFORE COMMENCING ANY WORK, MEASURE AND RECORD AIR QUANTITIES OF SUPPLY AIR, OUTLETS OF EACH AIR SYSTEM AFFECTED BY THIS WORK. VERIFY CONNECTIONS OR WORK BALANCE EACH SYSTEM TO AIR QUANTITIES SHOWN AND TO PREVIOUSLY RECORDED QUANTITIES OF OTHER OUTLETS ON THAT SYSTEM. ADJUST ALL SUPPLY FAN ACCORDINGLY.
 - COORDINATE ALL DUCT TEST WITH LOCAL MECHANICAL INSPECTOR.
 - PRIOR TO FINAL INSPECTION, PROVIDE CERTIFIED TEST & BALANCE REPORT AND OPERATIONS & MAINTENANCE MANUALS TO THE OWNER.
 - DUCT CONTROL PANELS AND LONG SHIRT METAL THICKNESS, SEAM AND JOINT CONSTRUCTION SHALL CONFORM TO CODES AND STANDARDS AND SUPPORTS SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND STANDARDS. METAL AND FLEXIBLE DUCT.

PIPING AND FITTINGS	
	CONDENSATE DRAIN PIPING FROM COOLING COIL
	CHILLED WATER SUPPLY PIPING
	CHILLED WATER RETURN PIPING
	CONDENSER WATER SUPPLY PIPING
	CONDENSER WATER RETURN PIPING
	HEATING HOT WATER SUPPLY PIPING
	HEATING HOT WATER RETURN PIPING
	EXISTING PIPE TO REMAIN

VALVES	
	BALL VALVE
	BUTTERFLY VALVE

MISCELLANEOUS	
	POINT OF CONNECTOR NEW TO EXISTING
	POINT OF CONNECTOR NEW TO EXISTING

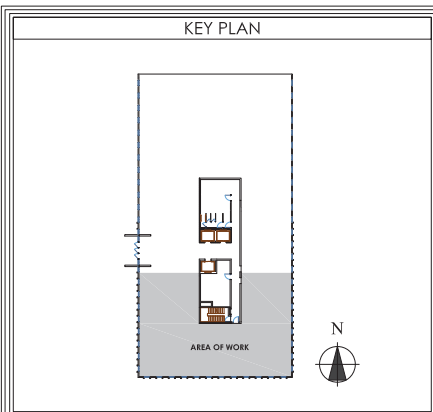
- APPLICABLE CODES**
- ASHRAE:
 - STANDARD 55 - SAFETY STANDARD FOR REFRIGERATION SYSTEMS
 - STANDARD 62 - THERMAL ENVIRONMENTAL CONDITIONS FOR HUMAN OCCUPANCY
 - STANDARD 62.1 - VENTILATION STANDARDS FOR ACCEPTABLE INDOOR AIR QUALITY
 - STANDARD 90.1 - ENERGY EFFICIENCY STANDARDS FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS
 - FLORIDA BUILDING CODES:
 - FLORIDA BUILDING CODE (FBC) - 2017 EDITION
 - FLORIDA ENERGY CONSERVATION CODE - 2017 EDITION
 - FLORIDA EXISTING BUILDINGS CODE (FBC-EB) - 2017 EDITION
 - FLORIDA MECHANICAL CODE (FBC-M) - 2017 EDITION
 - FLORIDA PLUMBING CODE (FBC-PL) - 2017 EDITION
 - FLORIDA FIRE PREVENTION CODE (FBC-F) - 2017 EDITION
 - FLORIDA ACCESSIBILITY CODE - 2017 EDITION
 - NATIONAL ELECTRICAL CODE (NEC) - 2014 EDITION
 - FLORIDA STATUTES:
 - CHAPTER 550.00 - BUILDING CONSTRUCTION STANDARDS; FLORIDA BUILDING CODE - ENFORCEMENT
 - FLORIDA ADMINISTRATIVE CODES:
 - CHAPTER 61G05 - RESPONSIBILITY RULES OF PROFESSIONAL ENGINEERS CONCERNING THE DESIGN OF ELECTRICAL SYSTEMS
 - CHAPTER 61G06 - RESPONSIBILITY RULES OF PROFESSIONAL ENGINEERS CONCERNING THE DESIGN OF MECHANICAL SYSTEMS
 - CHAPTER 61G07 - FIRE PREVENTION - GENERAL PROVISIONS
 - CHAPTER 61G08 - THE FLORIDA FIRE PREVENTION CODE
 - NATIONAL FIRE CODES:
 - NFPA 1 - UNIFORM FIRE CODE - 2015
 - NFPA 13 - INSTALLATION OF SPRINKLER SYSTEMS - 2013
 - NFPA 54 - WATER-BASED FIRE PROTECTION SYSTEMS - 2014
 - NFPA 70 - NATIONAL ELECTRICAL CODE - 2014
 - NFPA 99 - NATIONAL FIRE ALARM CODE - 2012
 - NFPA 96A - STANDARD FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS - 2015
 - NFPA 99B - STANDARD FOR THE INSTALLATION OF HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS - 2015
 - NFPA 101 - LIFE SAFETY CODE - 2015
 - NFPA 103 - STANDARD FOR THE INSTALLATION OF GASES FOR BUILDINGS AND STRUCTURES - 2015
 - NFPA 220 - STANDARD ON TYPES OF BUILDING CONSTRUCTION

HVAC NOTES	
1.	PRESSURE TEST PIPING SYSTEMS WITH WATER AT 150 PSI FOR A MINIMUM OF 4 HOURS. FOR AIR TEST LEAK PRESSURE ON SYSTEM FOR 24 HOURS. SYSTEM SHALL BE VERIFIED AS LEAK FREE AND APPROXIMATELY SAME TEMPERATURE AND HUMIDITY AS THE AIR PRESSURE SHALL BE MAINTAINED AS INDICATED BY ENGINEER.
2.	TRAP AIR CONDENSING CONDENSATE AND RUN TO SAFEWATER AT WORKERS BOON ROOMS.
3.	INSTALL EXTERIOR CONDENSER WATER PIPING AND MAKEUP WATER PIPING WITH CELLULAR GLASS, SEE SPECIFICATIONS.
4.	CONDENSATE PIPING SHALL BE CHILLED WATER AND HEATING HOT WATER SYSTEMS. COMPLETELY FILL AND CLEAN THE CONDENSER WATER PIPING SYSTEM INCLUDING THE COOLING TOWER AND TOWER BASE. SEE WATER TREATMENT SPECIFICATIONS.
5.	PROVIDE AIRFLOWING AIR VAVES AT HIGH POINTS OF CHILLED WATER, CONDENSER WATER AND HEATING HOT WATER PIPING SYSTEMS.
6.	INSTALL OUTDOOR PIPING, ETC. AS HIGH AS POSSIBLE ABOVE CEILING.
7.	COORDINATE LOCATION OF ALL EQUIPMENT, DUCTWORK AND PIPING INSTALLATION WITH ELECTRICAL PROVIDER TO AVOID INTERFERENCES WITH ELECTRICAL PANELS, PIPING, CONDUITS, ETC.
8.	INSTALLATION OF EQUIPMENT, DUCTWORK AND PIPING SHALL PROVIDE CONVENIENT ACCESS FOR REMOVAL OF FILTERS AND FOR MAINTENANCE.
9.	DUCT SEALS SHALL BE AIR LEAK RESISTANT.
10.	COORDINATE EXACT LOCATION OF AIR DISTRIBUTION EQUIPMENT WITH THE CEILING AND THE LIGHTING LAYOUT.
11.	THE RETURN AIR FROM INDIVIDUAL ROOMS IS TO BE ABOVE CEILING RETURN AIR PLenums.
12.	THE CEILING DIFFUSERS SHALL BE KEVIN THORNTON UNLESS OTHERWISE NOTED.
13.	PROVIDE NEW AIR FILTERS IN EACH UNIT UNLESS OTHERWISE NOTED. WHEN THE PROJECT IS READY FOR TEST AND BALANCE, REMOVE EXISTING FILTERS FROM ALL CEILING RETURN AIR REGISTERS AND FROM ALL SUPPLY AIR REGISTERS. REMOVE EXISTING FILTERS FROM ALL CEILING RETURN AIR REGISTERS AND FROM ALL SUPPLY AIR REGISTERS.
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15.	WHEREVER THE DEPTH OF THE TRUNK DUCT EXCEEDS THAT OF THE ROUND RUNOUT DUCT QUARTER, PROVIDE TRANSITIONING TO MAINTAIN EQUIVALENT AREA TO THE ROUND DUCT.
16.	WHERE ROUND DUCT IS INDICATED ON PLANS, USE SERIAL VOLUME DUCTWORK, "20" ROUND DUCTWORK IS NOT ACCEPTABLE.
17.	PROVIDE DAMPERS OF STAINLESS STEEL AT INLET TO ALL BOXES. DUCT SIZE SHALL BE SAME AS BOX INLET. IF INLET DUCT LENGTH EXCEEDS 10 FEET, PROVIDE 1/2" DIA. BOXES. DUCT SIZE SHALL BE SAME AS BOX INLET.
18.	PROVIDE ROUND DUCT CONNECTIONS AT EACH EQUIPMENT CONNECTION.
19.	WHERE ROUND DAMPERS OR COALS ARE INSTALLED IN DUCTWORK, PROVIDE DUCT ACCESS DOORS TO ALLOW INSPECTION OF COALS. PROVIDE COALS ACCESS PANELS WHERE INSTALLED IN ACCESSIBLE LOCATIONS. PANELS SHALL BE CONTRACTOR SUPPLY, BEARING LABEL.
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21.	APPLY EXTERNAL INSULATION TO SINGLE WALL SUPPLY DUCTS, RETURN DUCTS AND OUTSIDE AIR DUCTS FOR OPERATIONAL, CODES AND ENERGY EFFICIENCY REASONS. INSULATION SHALL BE 1/2" THICK POLYURETHANE FOAM INSULATION. INSULATE ALL DUCTS AND DUCTS INDICATED ON PLANS TO HAVE INSULATION. DUCT WORK SHALL NOT REQUIRE EXTERNAL INSULATION.
22.	PROVIDE VALVE CONTROL COMPARTMENT IN EACH TRANSIT FITTING TO SUPPLY AIR DIFFUSERS AND EXHAUST AIR AND RETURN AIR GRILLES AND AT EACH DUCT BRANCH SERVING TWO OR MORE AIR TERMINALS, WHETHER SHOWN ON THE DRAWINGS OR NOT.
23.	PROVIDE INSULATION FOR CHILLED WATER, HEATING HOT WATER, CONDENSER WATER, STEAM, STEAM CONDENSATE AND COOLING COILS. CONDENSATE SHALL BE VENT. REFER TO SCHEDULE FOR RUNOUT PIPE SIZE TO INDIVIDUAL EQUIPMENT.
24.	SECTION OF PIPES STORED ON SITE OR PLACED BY TRUCKS SHALL HAVE EACH OPEN END COVERED AT ALL TIMES EXCEPT WHILE MAKING CONNECTIONS. IT DEPENDS 3/4" INSULATED PIPE. IT SHALL BE COMPLETELY REMOVED PRIOR TO CONNECTIONS.
25.	PROVIDE ACCESS PANEL AT EACH LOCATION WHERE A VALVE DAMPER OR OTHER DEVICE REQUIRES SERVICE. IF LOCATED ABOVE AN ACCESSIBLE CEILING OR UNDER A WALL, ACCESS PANELS IN RATE CONSTRUCTION SHALL BEAR ALL LOADS. COORDINATE ACCESS PANEL LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
26.	CONTRACTOR SHALL ADHERE TO ALL REGULATORY/LOCAL STATE UNIVERSITY REFRIGERANT RECOVERY GUIDELINES WHEN REMOVING AIR EQUIPMENT CONTAINING REFRIGERANTS.
27.	INSTALL ALL SERVICES, TUBES AND VACUUM EXISTING EXTERNAL DUCT INSULATION. SEAL INSULATION USING ALUMINUM DUCT TAPE.
28.	BEFORE COMMENCING ANY WORK, MEASURE AND RECORD AIR QUANTITIES OF SUPPLY AIR, OUTLETS OF EACH AIR SYSTEM AFFECTED BY THIS WORK. VERIFY CONNECTIONS OR WORK BALANCE EACH SYSTEM TO AIR QUANTITIES SHOWN AND TO PREVIOUSLY RECORDED QUANTITIES OF OTHER OUTLETS ON THAT SYSTEM. ADJUST ALL SUPPLY FAN ACCORDINGLY.
29.	COORDINATE ALL DUCT TEST WITH LOCAL MECHANICAL INSPECTOR.
30.	PRIOR TO FINAL INSPECTION, PROVIDE CERTIFIED TEST & BALANCE REPORT AND OPERATIONS & MAINTENANCE MANUALS TO THE OWNER.
31.	DUCT CONTROL PANELS AND LONG SHIRT METAL THICKNESS, SEAM AND JOINT CONSTRUCTION SHALL CONFORM TO CODES AND STANDARDS AND SUPPORTS SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND STANDARDS. METAL AND FLEXIBLE DUCT.

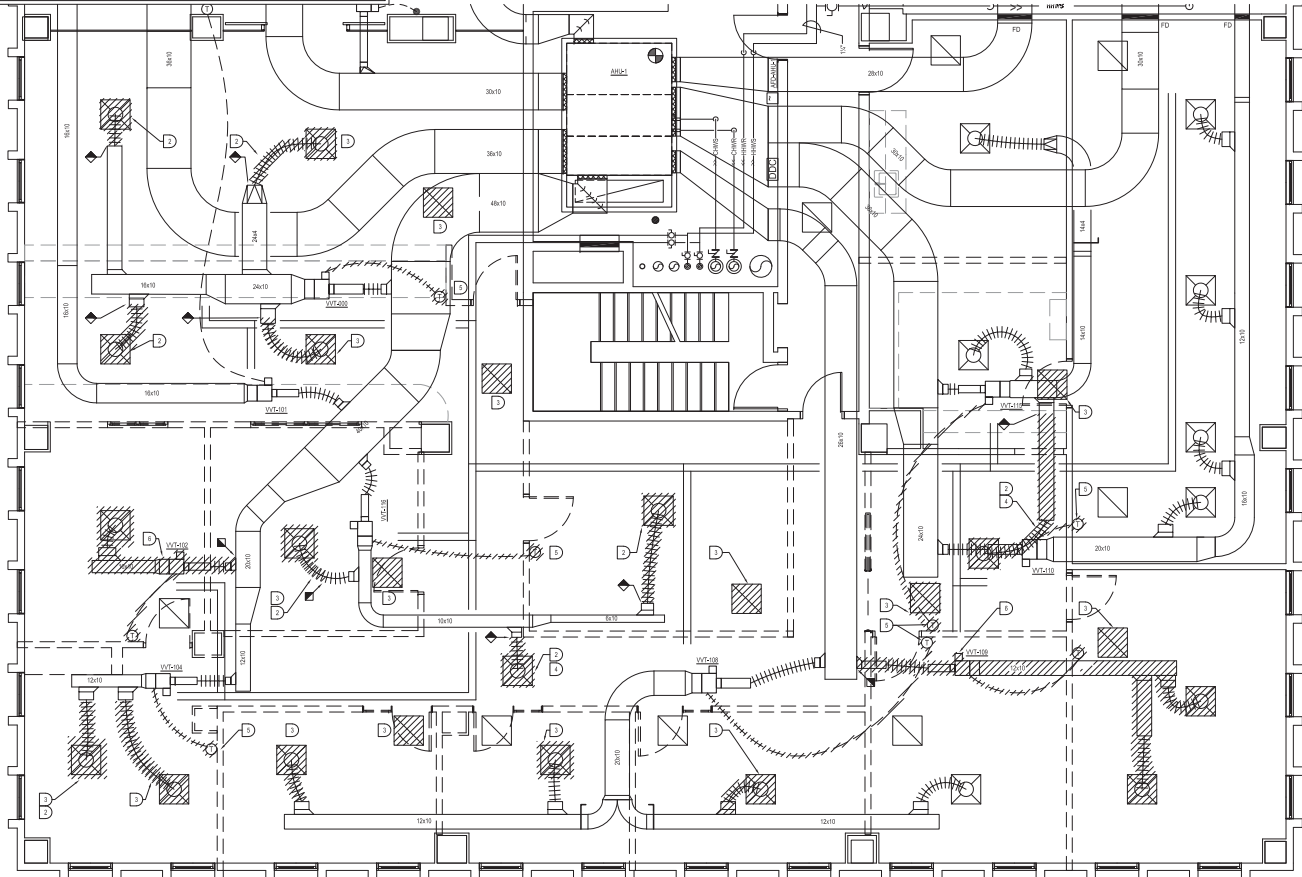
- GENERAL NOTES**
- DRAWINGS ARE DIMENSIONAL. INDICATE WORK TO BE FURNISHED AND INSTALLED UNDER THE CONTRACT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS.
 - FIELD VERIFY DIMENSIONS AND CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO REPERMIT THE CONTRACT DOCUMENTS. HE IS RESPONSIBLE TO CORRECT ANY DISCREPANCIES WITH THE ARCHITECT. IF THE CONTRACTOR WITH AN ERROR BEFORE OBTAINING CLARIFICATION HE SHALL BE HELD RESPONSIBLE FOR CONSEQUENCES ASSOCIATED THEREWITH.
 - BEFORE SUBMITTING FOR WORK, EACH BIDDER WILL BE RESPONSIBLE TO EXAMINE THE PROVISIONS AND SAFETY PRECAUTIONS SET FORTH IN THESE CONTRACT DOCUMENTS UNDER THE ARCHITECT'S JURISDICTION. HE SHALL COMPLETE THE WORK UNDER THE CONTRACT AND ALLOWANCE WILL BE SUBSEQUENTLY MADE IN THE CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR OMISSION ON HIS PART.
 - THE CONTRACTOR SHALL PAY FOR INSPECTION PERMITS, CERTIFICATES, CONNECTION FEES, SYSTEM DRAINING CHARGES AND LICENSE FEES IN CONNECTION WITH HIS WORK.
 - CONSTRUCTION MANAGEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK OF SUBCONTRACTORS TO THE INTERESTS OF THE OWNER.
 - WORK SHALL COMPLY WITH APPLICABLE A.S.C.A. AND I.P.A. REGULATIONS AND AGREEMENTS.
 - EJECT AND REMOVE REASONABLE PRECAUTIONS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNING SIGNS, BARRICADES, SAFETY LIGHTS AND SAFETY BARRIERS. PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR REESTABLISHING ACCESS AND EGRESS ROUTES.
 - COORDINATE AND SECURE EXISTING CEILING AND CONSTRUCTION WORK. SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL STRICTLY BE HELD TO THE PROJECT SCHEDULE. HE SHALL PROVIDE SUFFICIENT MANPOWER AND EQUIPMENT TO FULLY ACCOMPLISH, PROCEED WITH AND COMPLETE THE WORK.
 - THE CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON-SITE STORAGE OF CONSTRUCTION MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTIVE SECURITY OF EQUIPMENT AND MATERIALS.
 - THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK ENVIRONMENT AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF DEBRIS AT COMPLETION OF THE JOB AND BEFORE FINAL PAYMENT IS MADE.
 - THE CONTRACTOR SHALL FURNISH ALL DRAWINGS TO THE ARCHITECT AT COMPLETION OF CONSTRUCTION.
 - CONTRACTORS USE OF AN APPROVAL STAMP ON DOCUMENTS SUBMITTED AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS CONSTITUTES THAT THE CONTRACTOR HAS CONDUCTED THE CONTRACT DOCUMENT REQUIREMENTS RELATED TO THESE DRAWINGS, PRODUCT DATA AND SAMPLES.
 - THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR OR WITHIN FROM REPERMITTING OF THE CONTRACT DOCUMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE SECURITY OF EQUIPMENT AND MATERIALS. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE PROTECTIVE SECURITY OF EQUIPMENT AND MATERIALS. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE PROTECTIVE SECURITY OF EQUIPMENT AND MATERIALS.
 - PRIOR TO INSTALLATION, COORDINATE AND ADJUST THE FINAL LOCATION OF WALL MOUNTED DEVICES AND EQUIPMENT WITH ALL CASEWORK, SHELVES, MIRRORBOARDS, BULLETIN BOARDS OR OTHER WALL MOUNTED FURNISHINGS.
 - NOTE ANY SPECIAL REQUIREMENTS PROVIDED IN THE EQUIPMENT IN THE BUILDING. DEMANDS AND REQUIREMENTS OF ANY EQUIPMENT SHALL BE COMPLETED FOR THE OWNER AND THE BUILDING EQUIPMENT PROVIDER.
 - SUPPORTS AND HANGERS SHALL PROVIDE A MIN. 2" CLEARANCE FROM WALLS.
 - CONTRACTOR SHALL GUARANTEE THE WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL BE IN ADDITION TO THE WARRANTIES PROVIDED BY MATERIAL SUPPLIERS AND MANUFACTURERS.
 - THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. THE OWNER WILL MAKE REASONABLE EFFORTS TO ASSIST THE CONTRACTOR IN COMPLETING THE WORK. COORDINATE WORK WITH THE OWNERS REPRESENTATIVE.
 - EXISTING WALLS SHALL BE KEPT CLEAR. IF AN EXISTING WALL IS TEMPORARILY BLOTTED, PROVIDE THE REQUIRED BARRICADE AND DIRECTIONAL SIGNS FOR TEMPORARY ENTRY AND SAFETY.
 - REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED. REPLACE ANY OF THE DAMAGED OR SOILED DURING CONSTRUCTION.
 - PROVIDE PROTECTIVE MEASURES TO PROTECT EXISTING FURNITURE, CARPET AND FINISHES DURING THE COURSE OF CONSTRUCTION. TAKE CARE NOT TO DAMAGE EXISTING SURFACES. REFER TO ARCHITECT'S CONDITIONS AS REQUIRED.
 - SEAL WALLS, INTERIORS, CEILING, FLOORS, ETC. TO MATCH EXISTING ADJACENT SURFACES WHERE EQUIPMENT, CONDUIT AND PIPING ARE REMOVED.
 - EXISTING EQUIPMENT IS THE PROPERTY OF THE OWNER AND SHALL BE PROTECTED BY THE OWNER. THE OWNER'S LIABILITY FOR THE PROPERTY OF THE OWNER SHALL BE PROTECTED BY THE OWNER. THE OWNER'S LIABILITY FOR THE PROPERTY OF THE OWNER SHALL BE PROTECTED BY THE OWNER. THE OWNER'S LIABILITY FOR THE PROPERTY OF THE OWNER SHALL BE PROTECTED BY THE OWNER.
 - EXISTING EQUIPMENT AND SHOWN FOR USE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL IDENTIFY ALL EXISTING MATERIALS PRIOR TO DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO MATERIALS AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE PROTECTIVE SECURITY OF EQUIPMENT AND MATERIALS.
 - RELOCATE, AS REQUIRED, ALL EXISTING WIRE AND CONDUIT WHICH INTERFERES WITH INSTALLATION OF THE NEW WORK.
 - REMOVE ELECTRICAL EQUIPMENT (CIRCUIT BREAKER, POWER CONTROL, WIRING, DISCONNECT SWITCHES, STARTERS, ETC.) RELATED TO EQUIPMENT BEING REMOVED OR RELOCATED.

DESIGN CONDITIONS	
OUTDOORS	
SUMMER TEMPERATURES	75°F-90°F
DENHUMIDIFIED TEMPERATURES	75°F-90°F
INTERIOR TEMPERATURE	75°F
WIND VELOCITY	15 MPH
INDOORS	
OCCUPANCY USAGE	ALL
SUMMER TEMPERATURES	75°F-90°F

Attachment A - 100% Plans



- KEY NOTES - DEMOLITION**
- D AIR DEVICE TO REMOVE
 - D REMOVE DUCTWORK AND AIR DEVICES AS INDICATED.
 - D AIR DEVICE TO BE RELOCATED. REFER TO NEW WORK PLAN FOR NEW LOCATION.
 - D REMOVE DUCT WORK FROM AIR DEVICE TO VOLUME DAMPER. CLOSE VOLUME DAMPER. CAP AIR TRUNK WITH GALVANNEED SHEET METAL AND PERFORATE TO MATCH ADJACENT DUCTWORK.
 - D TEMPERATURE SENSORTHERMOSTAT TO BE RELOCATED. REFER TO NEW WORK PLAN FOR NEW LOCATION.
 - D REMOVE TERMINAL UNIT ASSOCIATED DUCTWORK AND AIR DEVICE (S) SALVAGE TERMINAL UNIT AND ASSOCIATED CONTROLS AND RETURN TO THE BUILDING PROPERTY MANAGER. HEATING WATER PIPING TO REMAIN. CAP HEATING WATER PIPING FOR FUTURE RECONNECT. REFER TO NEW WORK.



1 DEMOLITION PLAN - HVAC
M100 1/4" = 1'-0"

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WE OPERATE AS AN AFFILIATE OF HENGINEERING AND ARE A MEMBER OF THE HENGINEERING GROUP OF COMPANIES. ALL SERVICES ARE PROVIDED BY HENGINEERING GROUP OF COMPANIES. HENGINEERING GROUP OF COMPANIES IS AN EQUAL OPPORTUNITY EMPLOYER.

ARCHITECTS

**ARCHITECTURE
INTERIOR DESIGN
BUILDING ENVELOPE**

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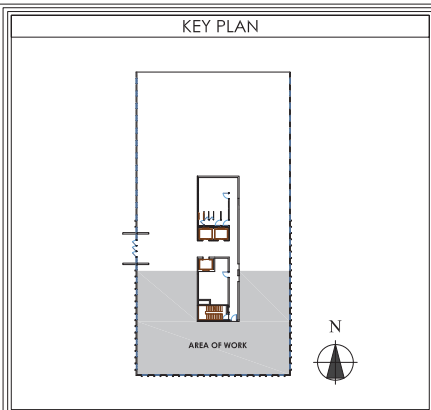
**BANK OF AMERICA 1ST FLOOR RENOVATIONS
OFFICE OF ECONOMIC VITALITY**
Tallahassee, Florida

100% SUBMITTAL

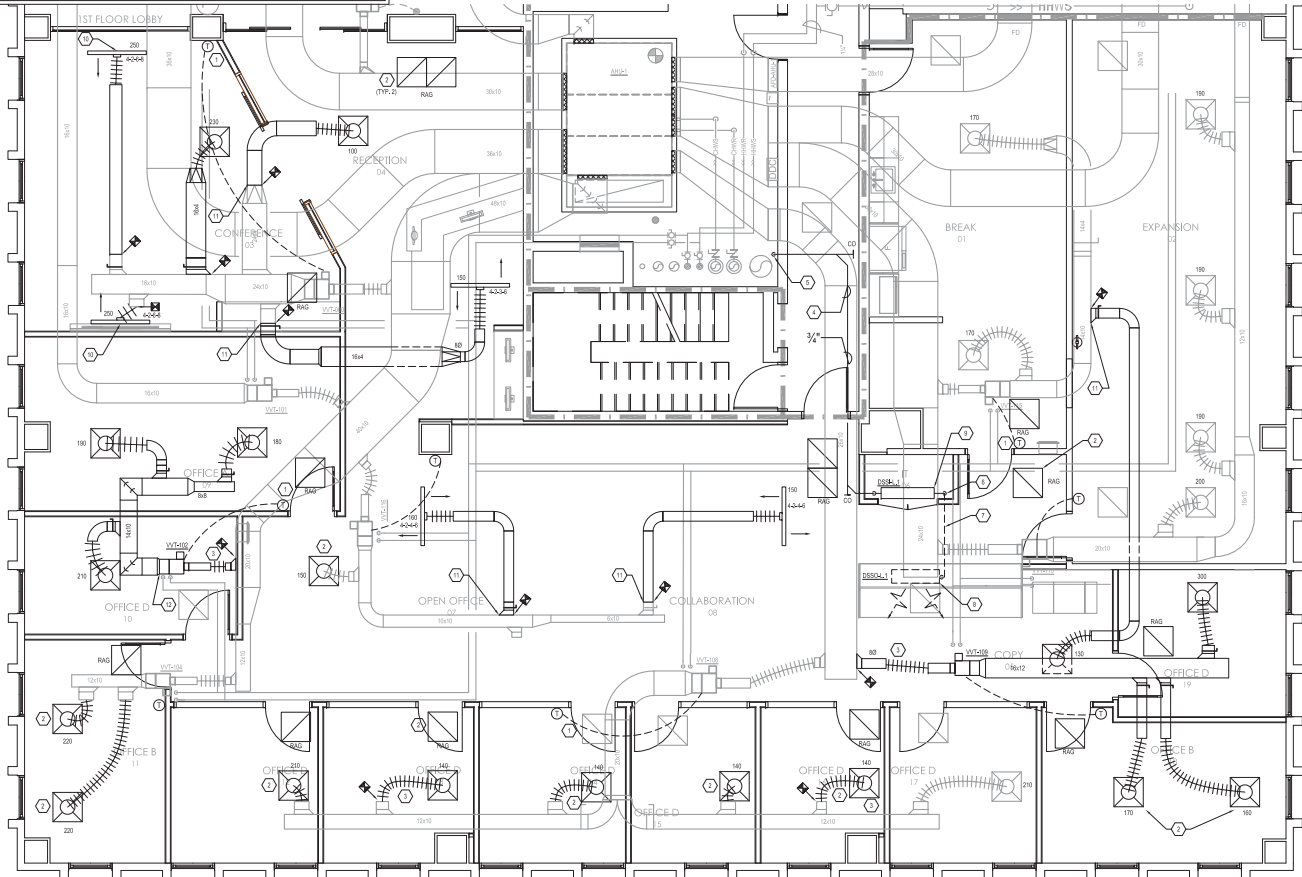
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APPROVED	STC
REVISION	
REVISION DATE	

DEMOLITION PLAN - HVAC
M100

Attachment A - 100% Plans



- KEY NOTES - RENOVATION**
- 1 EXISTING RELOCATED THERMOSTAT/TEMPERATURE SENSOR, MOUNT AT ADA COMPLIANT HEIGHT.
 - 2 EXISTING RELOCATED AIR DENCE.
 - 3 CONNECT NEW DUCTWORK TO EXISTING DUCTWORK AS INDICATED.
 - 4 ROUTE CONDENSATE PIPING FROM INDOOR UNIT TO ABOVE CEILING, ALONG CORRIDOR, AND DOWN WALL, INSIDE MECHANICAL ROOM TO ROOFST FLOOR DRAIN. MOUNT ON CONCRETE PIPE SLEEVE AT 18 FEET FOOT.
 - 5 UTILIZING UNRESTRICTED (MINIMUM 1'-0" SECTIONS) AND APPROPRIATELY SIZED CLIPS+CLAMPS OR APPROVED EQUIVALENT, SECURE PIPING TO AND DOWN WALL AT 1' INTERVALS.
 - 6 ROUTE REFRIGERANT PIPING DOWN WALL THRU FLOOR TO GARAGE CEILING BELOW. PROVIDE PIPE SLEEVE AT FLOOR FOR RETURN.
 - 7 SECURE PIPING AS NEAT AS POSSIBLE TO GARAGE CEILING.
 - 8 WALL MOUNTED CONDENSING UNIT IN GARAGE AREA BELOW. REFER TO DUCTLESS SPLIT SYSTEM CONDENSING UNIT DETAIL, WHILE MAINTAINING MANUFACTURER'S REQUIRED CLEARANCES. MOUNT CONDENSING UNIT AS HIGH AS POSSIBLE AND AS NEAT AS POSSIBLE TO WALL BELOW.
 - 9 WALL MOUNTED DUCTLESS SPLIT SYSTEM INDOOR UNIT. PER MANUFACTURER'S RECOMMENDATIONS, MOUNT INDOOR UNIT AS HIGH AS POSSIBLE ABOVE LET, CLOSET DOOR.
 - 10 SET SPLIT PATTERN CONTROLLER AS REQUIRED TO PROVIDE ONE SLOT WITH DOWNWARD THROW AND THE OTHER SLOT WITH HORIZONTAL THROW.
 - 11 EXTEND NEW DUCTWORK AS INDICATED. SEE BRAMA PER CEILING SUPPLY DIFFUSER SCHEDULE.
 - 12 EXTEND AND RECONNECT HEATING WATER PIPING TO NEW TERMINAL UNIT.



1 RENOVATION PLAN - HVAC
M101 1/4" = 1'-0"

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REVISION DATE	

RENOVATION PLAN - HVAC
M101

Attachment A - 100% Plans

<p>FLANGED FRAME, CONCEALED MOUNTING N.T.S.</p> <p>T-BAR LAY-IN STYLE N.T.S.</p>	<p>DUCTLESS - WALL MOUNTED INDOOR UNIT</p>	<p>VARIABLE VOLUME TERMINAL UNIT</p>																																								
<p>TYPICAL 2-WAY COIL PIPING (2" AND SMALLER)</p>	<p>DUCTLESS SPLIT SYSTEM - CONDENSING UNIT</p>	<p>TYPICAL DUCT TAKE-OFF FITTINGS</p> <table border="1"> <thead> <tr> <th>D</th> <th>E</th> <th>MIN</th> <th>TRUNK DUCT HEIGHT</th> <th>C</th> </tr> <tr> <th>NOTE 1</th> <th>NOTE 2</th> <th>NOTE 3</th> <th>NOTE 4</th> <th>NOTE 5</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>8.0</td> <td>12 x 6</td> <td>8</td> <td>9</td> </tr> <tr> <td>8</td> <td>8.0</td> <td>12 x 8</td> <td>8</td> <td>9</td> </tr> <tr> <td>10</td> <td>8.0</td> <td>14 x 6/25</td> <td>10</td> <td>10</td> </tr> <tr> <td>12</td> <td>10.0</td> <td>14 x 8</td> <td>12</td> <td>11</td> </tr> <tr> <td>14</td> <td>10.0</td> <td>20 x 8</td> <td>12</td> <td>11</td> </tr> <tr> <td>16</td> <td>12</td> <td>24 x 12</td> <td>14</td> <td>13</td> </tr> </tbody> </table>	D	E	MIN	TRUNK DUCT HEIGHT	C	NOTE 1	NOTE 2	NOTE 3	NOTE 4	NOTE 5	6	8.0	12 x 6	8	9	8	8.0	12 x 8	8	9	10	8.0	14 x 6/25	10	10	12	10.0	14 x 8	12	11	14	10.0	20 x 8	12	11	16	12	24 x 12	14	13
D	E	MIN	TRUNK DUCT HEIGHT	C																																						
NOTE 1	NOTE 2	NOTE 3	NOTE 4	NOTE 5																																						
6	8.0	12 x 6	8	9																																						
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12	10.0	14 x 8	12	11																																						
14	10.0	20 x 8	12	11																																						
16	12	24 x 12	14	13																																						
<p>TYPICAL PIPE HANGERS</p>	<p>RETURN OR EXHAUST CEILING GRILLE</p>	<p>RETURN OR EXHAUST CEILING GRILLE</p>																																								

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DETAILS

M501

Attachment A - 100% Plans

RETURN BEND
CONNECT TO TOP OF BRANCH LINE
LOCATE SPRINKLER CENTER OF THE HEAD INSTALLED IN ACCESSIBLE CEILING

EQUAL EQUAL

A TYPICAL SPRINKLER INSTALLATION

FIRE PROTECTION NOTES	
1.	INSTALL ALL WORK IN ACCORDANCE WITH THE PLUMBING CODE, LISTED EDITION NFPA FIRE CODES, LOCAL PLUMBING CODES, AND APPLICABLE OSHA AND EPA REGULATIONS AND SUBORDINATE. IN THE EVENT OF CONFLICT BETWEEN CODE AND CONSTRUCTION DOCUMENTS OCCUR, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
2.	COORDINATE EXACT LOCATION OF ALL SPRINKLERS WITH THE CEILING, LIGHTING LAYOUT, HVAC DUCTS AND STRUCTURAL COMPONENTS.
3.	LIGHT FIXTURES AND HVAC DIFFUSERS TAKE PRECEDENCE. ADD ADDITIONAL SPRINKLERS AS REQUIRED TO MEET "COVERED" REQUIREMENTS.
4.	PLACE SPRINKLERS CENTER OF CEILING TILES. PROVIDE RETURN BENDS AT ALL SPRINKLER LOCATIONS TO ALLOW FIELD ADJUSTMENT. PREFABRICATION OF PIPING TO LOCATE SPRINKLER IN CENTER OF TILE IS PROHIBITED.
5.	ALL BRANCH LINES SERVING ONE SPRINKLER SHALL BE 1" UNLESS NOTED OTHERWISE.
6.	THE BUILDING IS TO REMAIN OCCUPIED DURING CONSTRUCTION. PROVIDE A 24 HOUR FIRE WATCH DURING ALL OUTAGES.
7.	ALARM, SUPERVISORY AND TROUBLE SIGNALS SHALL BE AUTOMATICALLY TRANSMITTED TO UNAPPROVED CENTRAL STATION SERVICE SUPERVISING STATION OR PROPRIETARY SUPERVISING STATION AS DESCRIBED IN PART 12 OR WHEN APPROVED BY THE BUILDING OFFICIAL, SHALL SOUND AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. COORDINATE WITH OWNER ON CONSTRUCTION AS REQUIRED.

APPLICABLE CODES	
I. NATIONAL FIRE CODES:	
NFPA 1	UNIFORM FIRE CODE - 2015
NFPA 13	INSTALLATION OF SPRINKLER SYSTEMS - 2013
NFPA 14	INSTALLATION OF STANDBY ALARM SYSTEMS - 2013
NFPA 20	INSTALLATION OF CENTRAL FIRE PUMPS - 2013
NFPA 24	STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES - 2013
NFPA 25	WATER BASED FIRE PROTECTION SYSTEMS - 2014
NFPA 70	NATIONAL ELECTRICAL CODE - 2014
NFPA 72	NATIONAL FIRE ALARM CODE - 2013
NFPA 96	STANDARDS FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS - 2015
NFPA 99	STANDARDS FOR HEALTH CARE FACILITIES - 2015
NFPA 99	STANDARDS FOR HEALTH CARE FACILITIES - 2015
NFPA 101	LIFE SAFETY CODE - 2015
NFPA 165	STANDARDS FOR FIRE HOSE CONNECTIONS - 2014
THE NFPA STANDARDS INCORPORATED SHALL BE AS LISTED OR ADOPTED BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.	

DOCUMENT REQUIREMENTS	
THE SCOPE OF THE PROJECT INCLUDES THE ALTERATION OF LESS THAN 48 SPRINKLERS OF THE EXISTING SPRINKLER SYSTEM REMAINING. RELOCATION AND/OR NEW SPRINKLERS ARE INSTALLED ON THESE DOCUMENTS. A CERTIFIED CONTRACTOR UNDER FLORIDA STATUTE 350.52 SHALL DESIGN THE FIRE SPRINKLER SYSTEMS WHICH INCLUDES RELOCATION, ADDITION OR REMOVAL OF NOT MORE THAN 48 SPRINKLERS IN ACCORDANCE WITH THE IBC (L.S.F. 350.52(1)) AND IN COMPLIANCE WITH NFPA 13 (2013) INSTALLATION OF SPRINKLER SYSTEMS. CONTRACTOR SHALL SUBMIT PRODUCT DATA AND SHOP DRAWINGS FOR ENGINEER AND AUTHORITY HAVING JURISDICTION APPROVAL.	

CLASSIFICATION OF OCCUPANCIES (NFPA 13)	
HAZARDOUS GROUP 1	LIGHT HAZARD
ROOMS OR SPACES NOT SPECIFICALLY DESIGNATED AS TO HAZARD CLASSIFICATION SHALL BE CONSIDERED LIGHT HAZARD.	

SPRINKLERS	
	PENDANT
	EXPOSED UPRIGHT

SYSTEM DESCRIPTION							
AREA	OCCUPANCY CLASSIFICATION	SYSTEM	DENSITY	TEMPERATURE	MAXIMUM COVERAGE	MINIMUM SPACING	WATER SUPPLY CAPACITY
			GROUP	°F	SQ. FT.	FT.	MINUTES
GENERAL	Light	WET	0.10	ORDINARY	225	15	30
							100

ABBREVIATIONS	
EXET	EXISTING
FT	FEET
IN	INCHES
NA	NOT APPLICABLE
TYP	TYPICAL
NS	NOT IN SCOPE

GENERAL NOTES	
1.	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF WORK TO BE FURNISHED AND INSTALLED UNDER THIS CONTRACT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL DIMENSIONS.
2.	FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE TO REQUEST CLARIFICATION IN WRITING TO THE ARCHITECT. IF HE PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE RESPONSIBLE FOR ALL CONSEQUENCES ASSOCIATED THEREWITH.
3.	BEFORE SUBMITTING FOR THE WORK, EACH BIDDER WILL BE RESPONSIBLE TO EXAMINE THE PREMISES AND SATISFY HIMSELF AS TO THE WORK CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO PERFORM AND COMPLETE THE WORK UNDER THE CONTRACT. NO ALLOWANCE WILL BE MADE IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR OMISSION ON HIS PART.
4.	THE CONTRACTOR SHALL PAY FOR ALL SUBMITTALS, PERMITS, IDENTIFICATION, CONNECTION FEES, SYSTEM DEMAND CHARGES AND LICENSE FEES IN CONNECTION WITH THIS WORK.
5.	CONSTRUCTION MANAGER GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK OF ALL SUBCONTRACTORS TO AVOID INTERFERENCES.
6.	ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND EPA REGULATIONS AND ORDINANCES.
7.	ERECT AND MAINTAIN ALL REASONABLE PRECAUTIONS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNING SIGNS; PROVIDE MEANS FOR PROTECTING SAFETY; INSTALL TOOLS, PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION VEHICLE ACCESS AND EGRESS LOCATIONS.
8.	COORDINATE AND SEQUENCE ALL DEMOLITION, CLEANING AND CONSTRUCTION WORK. SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
9.	THE CONTRACTOR SHALL STRICTLY BE HELD TO THE PROJECT SCHEDULE. HE SHALL PROVIDE SUFFICIENT MANPOWER AND EQUIPMENT TO FULLY MOBILIZE, PROCEED WITH AND COMPLETE THE WORK.
10.	THE CONTRACTOR SHALL BE RESPONSIBLE TO AREAS SPECIFIED BY THE OWNER FOR ON-SITE STORAGE OF CONSTRUCTION MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND MATERIALS.
11.	THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK ENVIRONMENT AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS AT COMPLETION OF THE JOB AND BEFORE FINAL PAYMENT IS MADE.
12.	THE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS TO THE ARCHITECT AT COMPLETION OF CONSTRUCTION.
13.	CONTRACTOR'S USE OF AN APPROVAL STAMP OR DOCUMENTS SUBMITTED AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS CONSTITUTES THAT THE CONTRACTOR HAS COMPLIED WITH THE CONTRACT DOCUMENT REQUIREMENTS RELATED TO SHOP DRAWINGS, PRODUCT DATA AND SAMPLES.
14.	THE CONTRACTOR SHALL NOT BE RELEASED OF RESPONSIBILITY FOR DEFICIENCIES FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT/ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT/ENGINEER IN WRITING OF SUCH DEFICIENCIES AT THE TIME OF SUBMITTAL AND THE ARCHITECT/ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SHOP DRAWING. THE CONTRACTOR SHALL NOT BE RELEASED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS BY THE ARCHITECT/ENGINEER'S APPROVAL THEREOF.
15.	SUPPORTS AND HANGERS SHALL PRESENT A NEAT, ORDERLY APPEARANCE.
16.	CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL FIRE, SMOKE, AND ACoustICAL WALL ASSEMBLIES.
17.	BEAM AND FLOOR PENETRATIONS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER. BEAM SLEEVES AND BEAM REINFORCEMENT APPROVED BY STRUCTURAL ENGINEER SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
18.	CONTRACTOR SHALL FURNISH ALL APPROVED DRAWINGS FOR EACH TYPE OF FIRE RATED ASSEMBLY PENETRATION BY DUCTS, PIPES OR CONDUITS. THESE DRAWINGS SHALL BE OBLAYED ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. SEE SPECIFICATIONS.
19.	CONTRACTOR SHALL GUARANTEE THE WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. THE GUARANTEE SHALL BE IN ADDITION TO THE WARRANTIES PROVIDED BY MATERIAL SUPPLIERS AND MANUFACTURERS.
20.	THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. THE OWNER WILL MAKE ALL REASONABLE EFFORTS TO ASSIST THE CONTRACTOR IN COMPLETING THE WORK. COORDINATE ALL WORK WITH THE OWNER'S DESIGNATED REPRESENTATIVE.
21.	EXITWAYS SHALL BE KEPT CLEAR. IF AN EXIT MUST BE TEMPORARILY BLOCKED, PROVIDE THE REQUIRED BARRIAGE AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
22.	REMOVE AND RE-INSTALL EXISTING CEILING TILE AS REQUIRED. REPLACE ANY TILE DAMAGED OR SOILED DURING CONSTRUCTION.
23.	PROVIDE PROPER PROTECTIVE MEASURES TO PROTECT EXISTING FURNITURE, CARPET AND FINISHES DURING THE COURSE OF CONSTRUCTION. TAKE CARE NOT TO DAMAGE EXISTING SURFACES. REPAIR TO MATCH EXISTING CONDITIONS AS REQUIRED.
24.	SEAL ALL HOLDERS, WALLS, CEILING, FLOORS, ETC. TO MATCH EXISTING ADJACENT SURFACES WHOSE EQUIPMENT, CONDUIT AND/OR FINISHES ARE REMOVED.
25.	ALL EXISTING EQUIPMENT IS THE PROPERTY OF THE OWNER AND SHALL BE PROTECTED AS DIRECTED BY THE OWNER. EXPOSED OR ALL MATERIALS AND EQUIPMENT SHOWN TO BE REMOVED IN ACCORDANCE WITH LOCAL REGULATIONS, ITEMS REMOVED AND SAVED FOR REUSE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL IDENTIFY ANY DEFECTIVE MATERIALS PRIOR TO DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO MATERIALS AT PROJECT COMPLETION NOT IDENTIFIED PRIOR TO DEMOLITION.
26.	RELOCATE, AS REQUIRED, ANY EXISTING WIRE AND CONDUIT WHICH INTERFERES WITH INSTALLATION OF THE NEW WORK.

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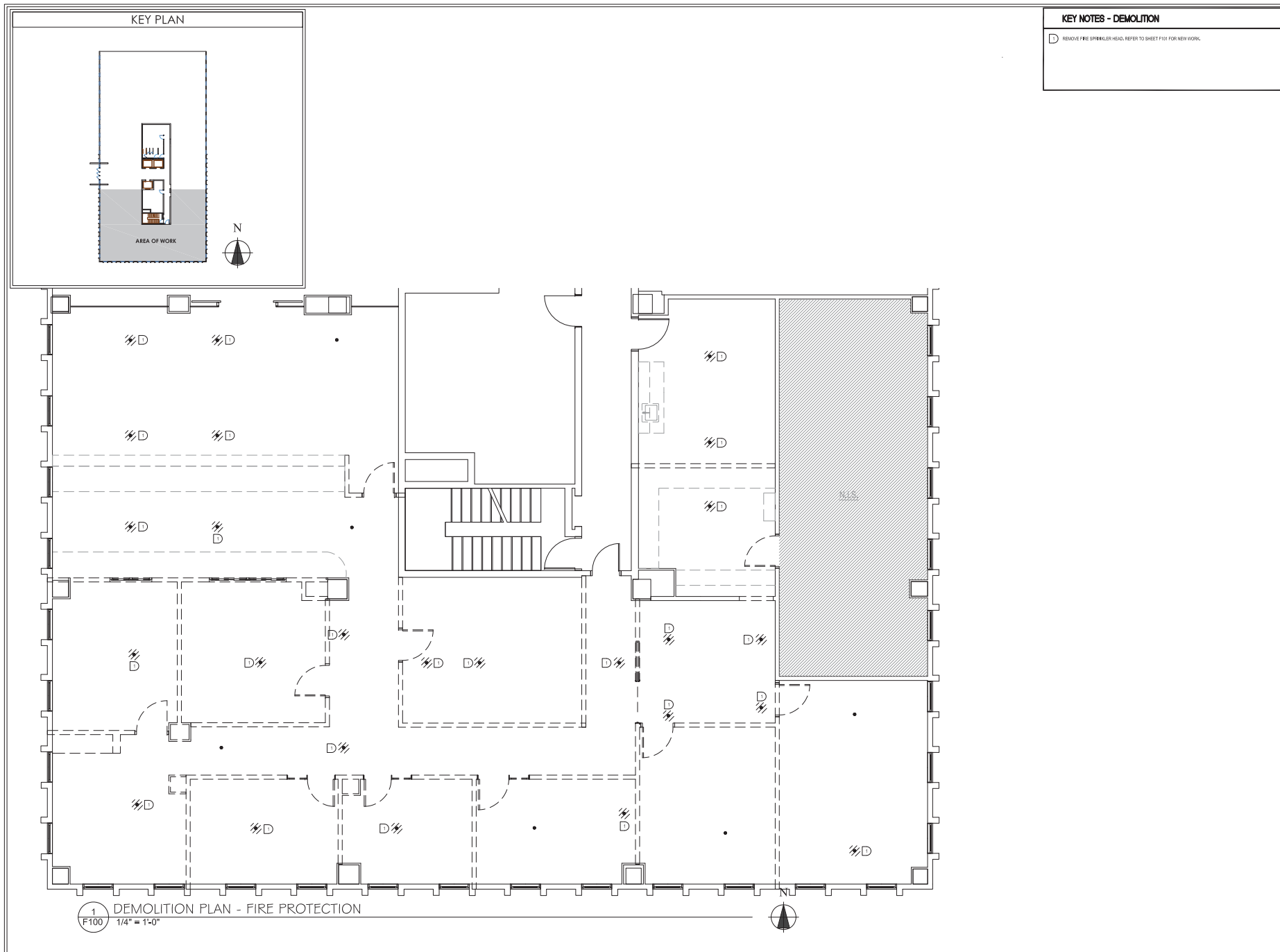
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GENERAL NOTES, LEGENDS & DETAILS

F001

Attachment A - 100% Plans



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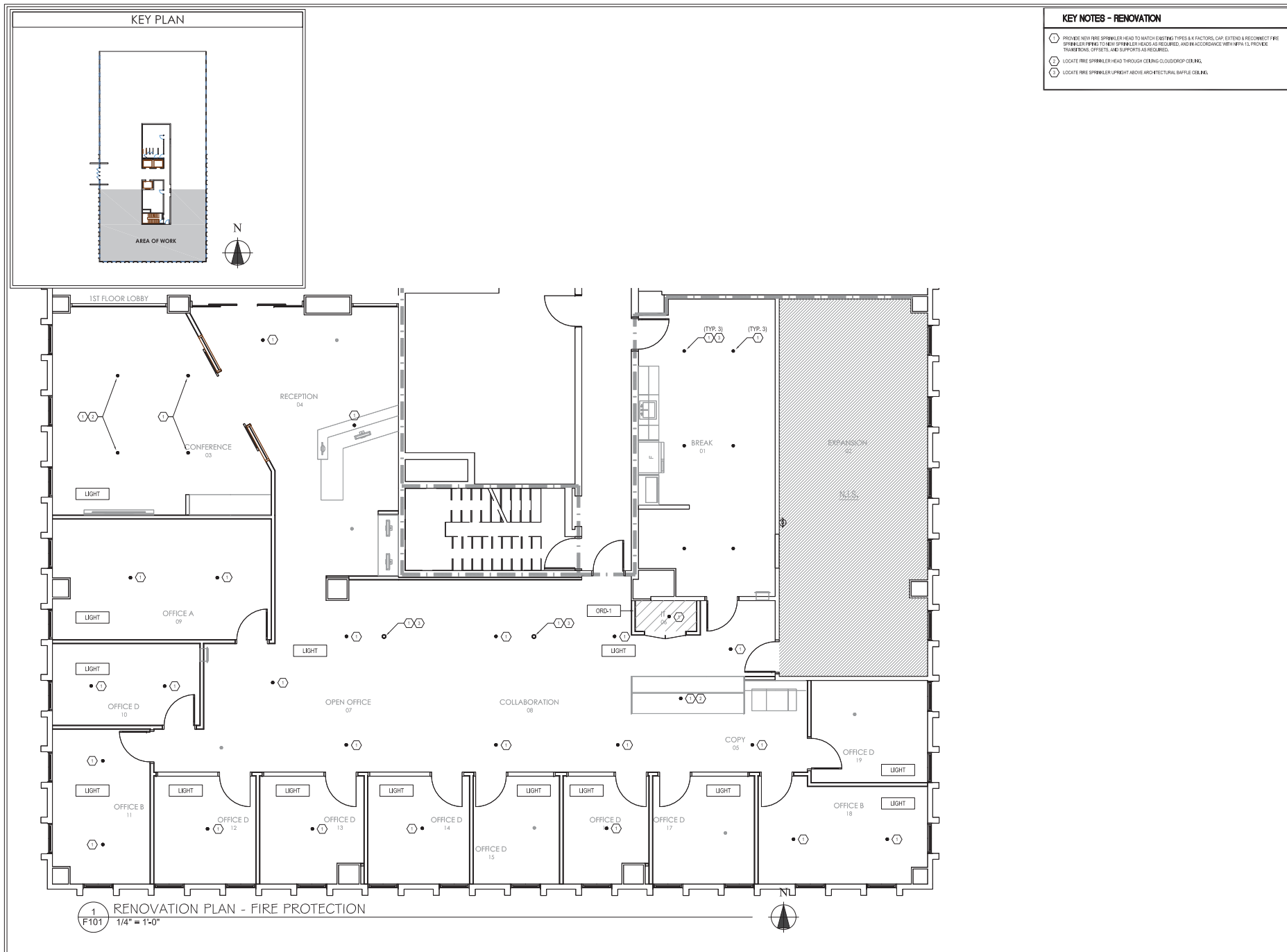
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DEMOLITION PLAN - FIRE PROTECTION

F100

Attachment A - 100% Plans



KEY NOTES - RENOVATION

- ① PROVIDE NEW FIRE SPRINKLER HEAD TO MATCH EXISTING TYPES & FACTORS. CAP EXISTING AND RECONNECT FIRE SPRINKLER PERIVE TO NEW SPRINKLER HEADS AS REQUIRED, AND IN ACCORDANCE WITH NFPA 13 PROVIDE TRANSITIONS, OFFSETS, AND SUPPORTS AS REQUIRED.
- ② LOCATE FIRE SPRINKLER HEAD THROUGH CEILING CLOUDDROP CEILING.
- ③ LOCATE FIRE SPRINKLER UPRIGHT ABOVE ARCHITECTURAL BAFFLE CEILING.

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**RENOVATION PLAN -
FIRE PROTECTION**

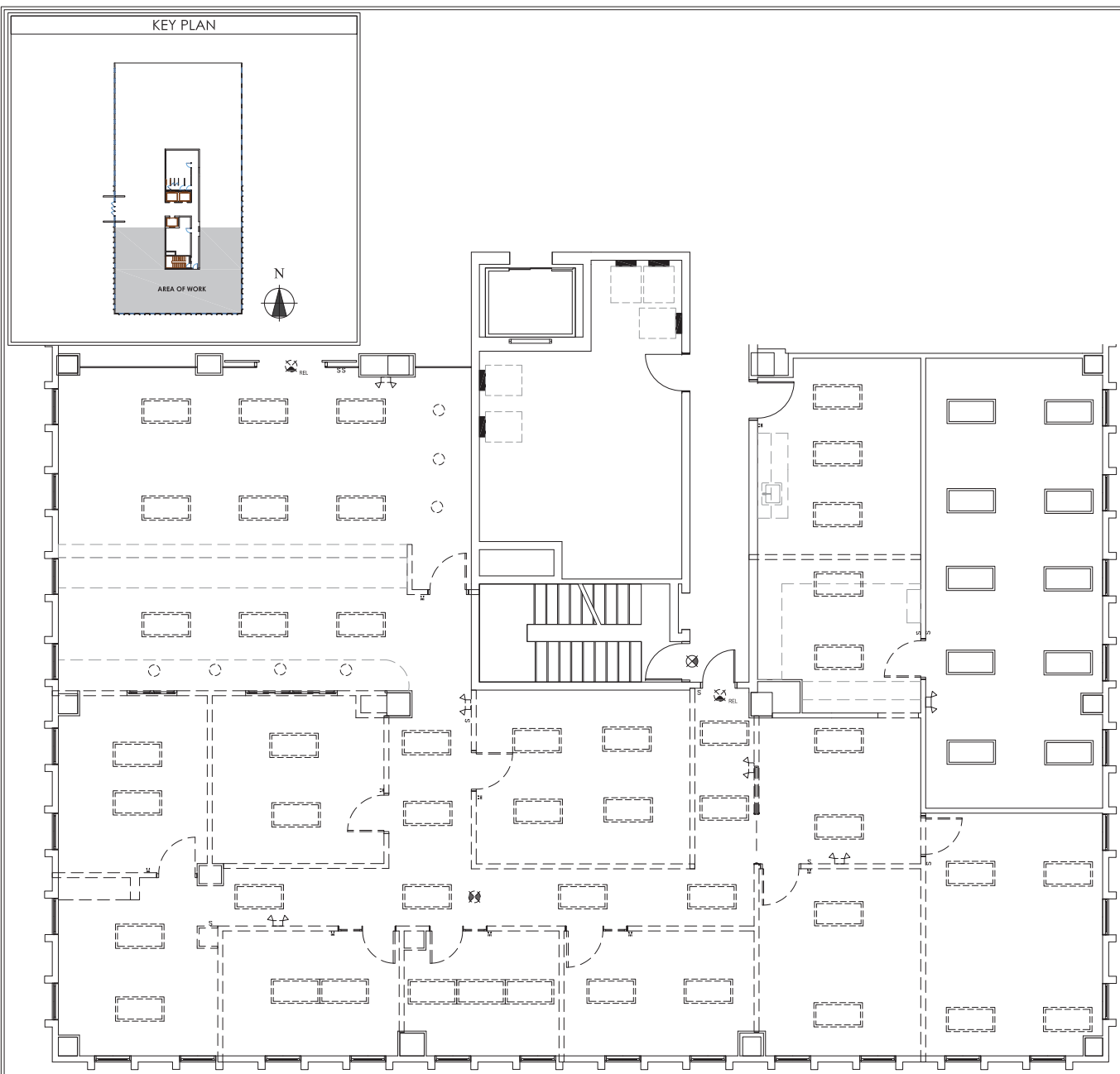
F101

1 F101 RENOVATION PLAN - FIRE PROTECTION
1/4" = 1'-0"

Attachment A - 100% Plans

GENERAL DEMOLITION NOTES

1. ALL DEVICES SHOWN DASHED SHALL BE DEMOLISHED. ALL OTHER DEVICES ARE EXISTING TO REMAIN. (UNL)



1 DEMOLITION PLAN - LIGHTING
E100 1/4" = 1'-0"

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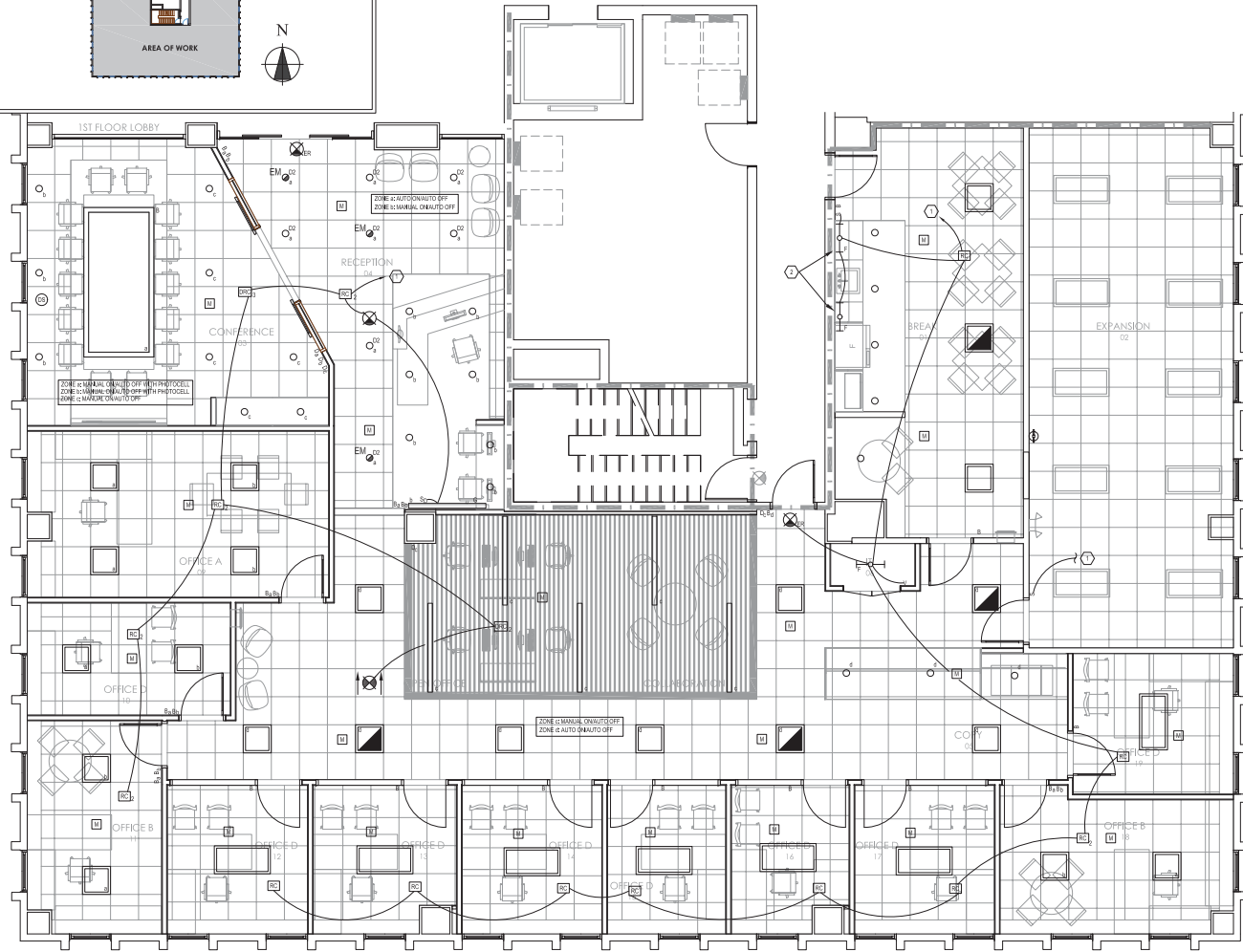
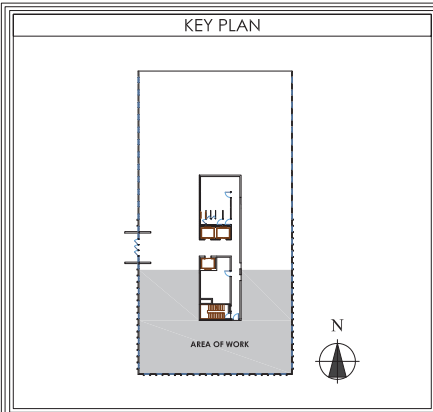
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DEMOLITION PLAN - LIGHTING

E100

Attachment A - 100% Plans



GENERAL RENOVATION NOTES	
1.	EXISTING DEVICES ARE SHOWN SHADDED. ALL OTHER DEVICES ARE NEW.
2.	ALL 32' FIXTURES ARE TYPE A UNID.
3.	ALL 24' FIXTURES ARE TYPE A UNID.
4.	ALL 18' FIXTURES ARE TYPE E UNID.
5.	ALL DOWNLIGHTS ARE TYPE D UNID.
6.	LIGHTING CONTROLS IN OFFICES, BREAKROOMS, AND CONFERENCE ROOMS SHALL BE MANUAL ON/AUTO OFF.

RENOVATION KEYNOTES	
	WIRE TO EXISTING LIGHTING CIRCUIT.
	MOUNT FIXTURES UNDER CABINETRY.

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RENOVATION PLAN - LIGHTING

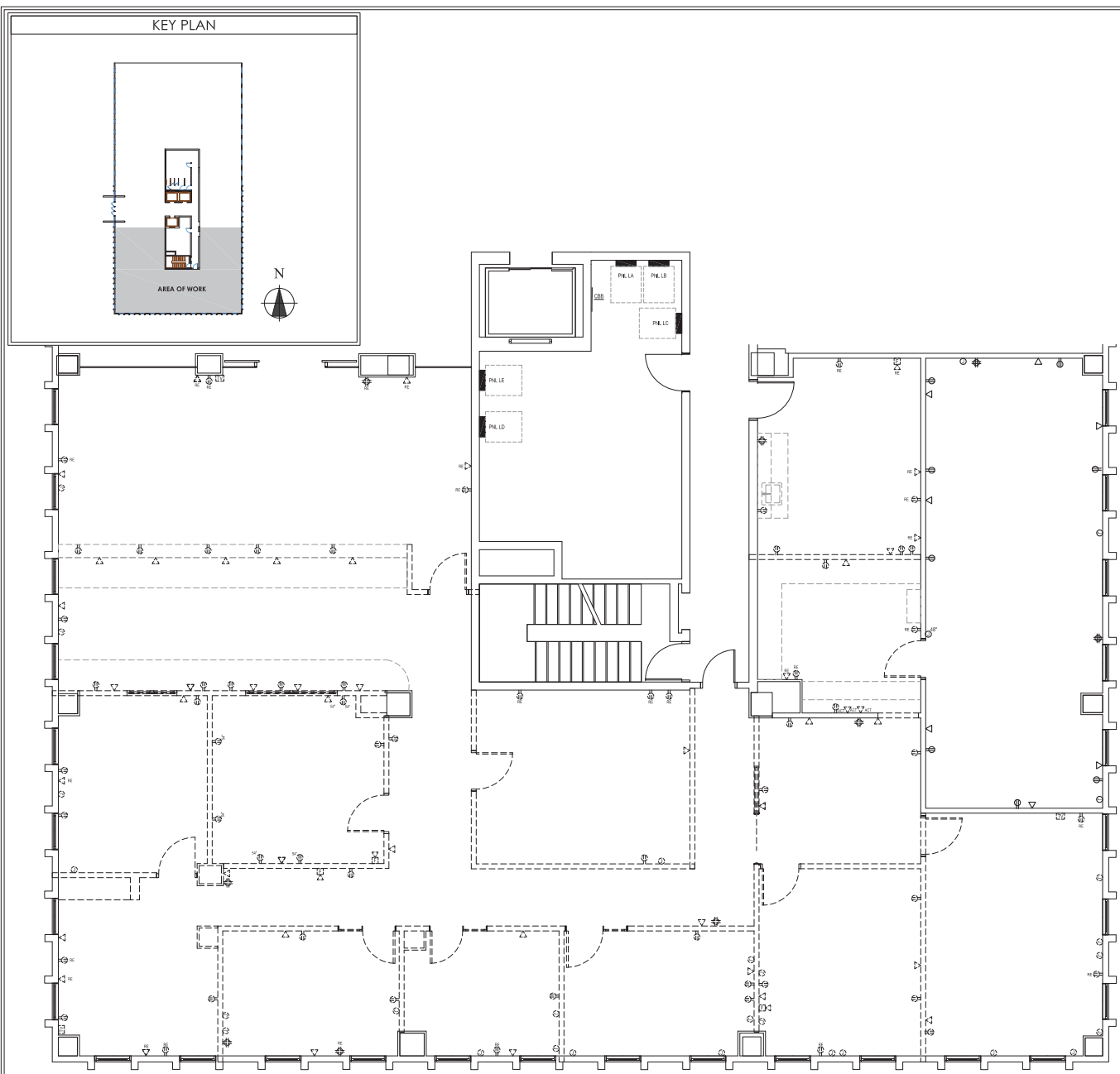
E101

1 RENOVATION PLAN - LIGHTING
E101 1/4" = 1'-0"



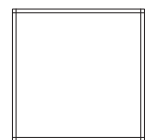
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GENERAL DEMOLITION NOTES
 1. ALL DEVICES SHOWING SHOWN SHALL BE DEMOLISHED. ALL OTHER DEVICES ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.



1 DEMOLITION PLAN - POWER
 E200 1/4" = 1'-0"

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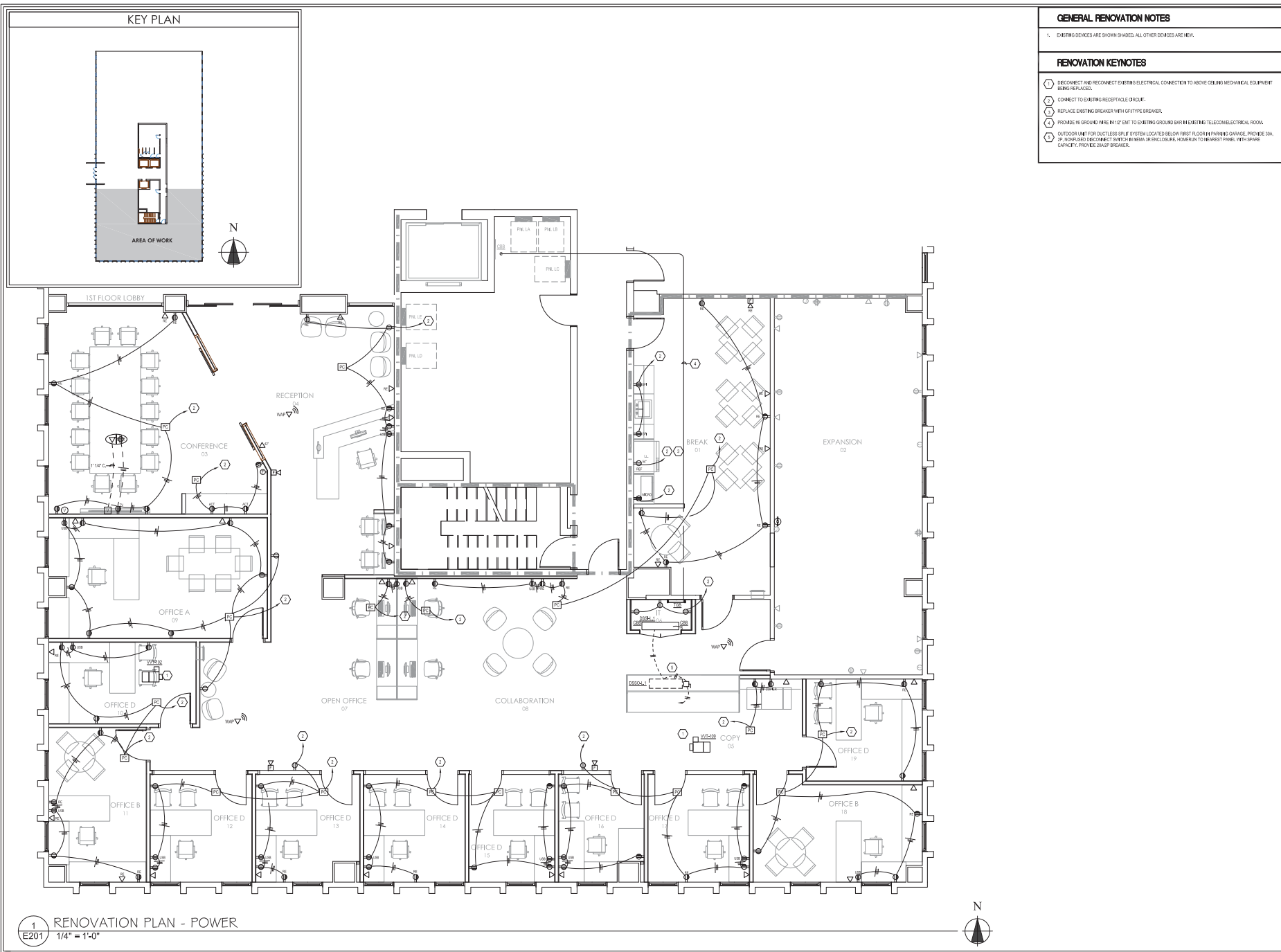
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DEMOLITION PLAN - POWER
E200

Attachment A - 100% Plans



GENERAL RENOVATION NOTES	
1.	EXISTING DEVICES ARE SHOWN SHADED. ALL OTHER DEVICES ARE NEW.
RENOVATION KEYNOTES	
①	DISCONNECT AND RECONNECT EXISTING ELECTRICAL CONNECTION TO ABOVE CEILING MECHANICAL EQUIPMENT BEING REPLACED.
②	CONNECT TO EXISTING RECEPTACLE CIRCUIT.
③	REPLACE EXISTING BREAKER WITH GFI TYPE BREAKER.
④	PROVIDE 16 GROUND BARS IN 12" EXT. TO EXISTING GROUND BAR IN EXISTING TELECOMMUNICATIONS ROOM.
⑤	OUTDOOR LIGHT FIXTURELESS SPLIT SYSTEM LOCATED BELOW FIRST FLOOR REPAIRING GARAGE, PROVIDE 50A 2P, NON-FUSED DISCONNECT SWITCH IN RIMA 3M ENCLOSURE, HOMERUN TO NEAREST PANEL, 1/4" SPARE CAPACITY, PROVIDE 50AMP BREAKER.

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RENOVATION PLAN - POWER
E201

1 RENOVATION PLAN - POWER
 E201 1/4" = 1'-0"

